



**AGENDA SUMMARY
PLANNING COMMISSION MEETING
TUESDAY, JULY 19, 2016
6:00 P.M.
ARROYO GRANDE CITY COUNCIL CHAMBERS
215 E. BRANCH STREET, ARROYO GRANDE**

1. CALL TO ORDER:

2. ROLL CALL

3. FLAG SALUTE:

4. AGENDA REVIEW:

The Commission may revise the order of agenda items depending on public interest and/or special presentations.

5. COMMUNITY COMMENTS AND SUGGESTIONS:

This public comment period is an invitation to members of the community to present issues, thoughts, or suggestions on matters not scheduled on this agenda. Comments should be limited to those matters that are within the jurisdiction of the Planning Commission. The Brown Act restricts the Commission from taking formal action on matters not published on the agenda. The Commission requests that public comment be limited to three (3) minutes and be accompanied by voluntary submittal of a "speaker slip" to facilitate meeting organization and preparation of the minutes.

6. WRITTEN COMMUNICATIONS:

Correspondence or supplemental information for the Planning Commission received after Agenda preparation. In compliance with the Brown Act, the Commission will not take action on correspondence relating to items that are not listed on the Agenda, but may schedule such matters for discussion or hearing as part of future agenda consideration.

7. CONSENT AGENDA:

7.a. APPROVAL OF MINUTES

Recommended Action: Approve the minutes of the July 5, 2016 meeting.

Documents:

[PC 07.a. 07-05-16 Draft Minutes.pdf](#)

8. PUBLIC HEARINGS:

8.a. CONTINUED CONSIDERATION OF VARIANCE CASE NO. 16-001 & VIEWSHED REVIEW CASE NO. 16-001; CONVERSION OF EXISTING HOME TO SECONDARY DWELLING UNIT AND CONSTRUCTION OF A NEW TWO-STORY SINGLE FAMILY HOME, THREE (3) CAR GARAGE, FIVE FOOT (5') SOUTH SIDE YARD SETBACK REDUCTION, AND EIGHT FOOT (8') WEST REAR YARD SETBACK REDUCTION; LOCATION - 190 SOUTH ELM STREET; APPLICANT - DANTE TOMASINI; REPRESENTATIVE - DOUGLAS R. FANER

Recommended Action: It is recommended that the Planning Commission adopt a Resolution approving Variance 16-001 and Viewshed Review 16-001.

Documents:

[PC 08.a. VAR 16-001 and VSR 16-001 190 S. Elm St..pdf](#)

9. NON-PUBLIC HEARING ITEMS:

9.a. CONSIDERATION OF STAFF PROJECT 16-003; EAST BRANCH STREET STREETSCLAPING ALTERNATIVES; LOCATION – EAST BRANCH STREET BETWEEN MASON STREET AND PAULDING CIRCLE; APPLICANT – CITY OF ARROYO GRANDE

Recommended Action: It is recommended that the Planning Commission review the project alternatives for the East Branch Streetscaping project and advise the City Council on a preferred alternative

Documents:

[PC 09.a. East Branch Streetscape Project.pdf](#)

10. NOTICE OF ADMINISTRATIVE DECISIONS:

This is a notice of administrative decision for Minor Use Permits, including any approvals, denials or referrals by the Community Development Director. An administrative decision must be appealed or called up for review by the Planning Commission by a majority vote.

10.a. NOTICE OF ADMINISTRATIVE DECISIONS SINCE JULY 5, 2016

Documents:

[PC 10.a. Administrative Decisions.pdf](#)

11. COMMISSION COMMUNICATIONS:

Correspondence/Comments as presented by the Planning Commission.

12. STAFF COMMUNICATIONS:

Correspondence/Comments as presented by the Community Development Director.

12.a. Select Committee Member For Halcyon Road Complete Street Project Stakeholders Group

13. ADJOURNMENT

All staff reports or other written documentation, including any supplemental material distributed to a majority of the Planning Commission within 72 hours of a regular meeting, relating to each item of business on the agenda are available for public inspection during regular business hours in the Community Development Department, 300 E. Branch Street, Arroyo Grande. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by the Americans with Disabilities Act. To make a request for disability-related modification or accommodation, contact the Legislative and Information Services Department at 805-473-5414 as soon as possible and at least 48 hours prior to the meeting date.

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**ACTION MINUTES
REGULAR MEETING OF THE PLANNING COMMISSION
TUESDAY, JULY 5, 2016
COUNCIL CHAMBERS, 215 EAST BRANCH STREET
ARROYO GRANDE, CALIFORNIA**

1. CALL TO ORDER

Chair George called the Regular Planning Commission meeting to order at 6:00 p.m.

2. ROLL CALL

Planning Commission: Commissioners Terry Fowler-Payne, John Keen, John Mack, Glenn Martin, and Lan George were present.

Staff Present: Planning Manager Matthew Downing, Associate Planner Kelly Heffernon, City Engineer Matt Horn, and Secretary Debbie Weichinger were present.

3. FLAG SALUTE

Chair George led the Flag Salute.

4. AGENDA REVIEW

None

5. COMMUNITY COMMENTS AND SUGGESTIONS

None

6. WRITTEN COMMUNICATIONS

The Commission received the following material after preparation of the agenda:

1. Letter dated June 28, 2016 regarding Agenda Item 8.c.

7. CONSENT AGENDA

Chair George invited public comment on the Consent Agenda. No public comments were received.

Commission Keen asked questions regarding item 7.b.

Planning Manager Downing responded to questions from the Commission on Item 7.b., including parking, setbacks, blanket parking easement and stated that there are no changes to the development previously approved by the City Council.

Action: Commissioner Keen moved, and Commissioner Mack seconded the motion, to approve Consent Agenda Items 7.a. and 7.b., with the recommended courses of action. The motion passed unanimously with a voice vote.

7.a. Consideration of Approval of Minutes.

Action: Approved the minutes of the June 21, 2016 meeting as submitted.

7.b. Consideration of Lot Line Adjustment 16-001

Action: Adopted a Resolution entitled: ***“A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARROYO GRANDE RECOMMENDING THE CITY COUNCIL APPROVE LOT LINE ADJUSTMENT NO. 16-001; LOCATED AT 1271 JAMES WAY; APPLIED FOR BY RUSS SHEPPEL”.***

8. PUBLIC HEARINGS

- 8.a. CONSIDERATION OF VARIANCE CASE NO. 16-001 & VIEWSHED REVIEW CASE NO. 16-001; CONVERSION OF EXISTING HOME TO SECONDARY DWELLING UNIT AND CONSTRUCTION OF A NEW TWO-STORY SINGLE FAMILY HOME, THREE (3) CAR GARAGE, FIVE FOOT (5') SOUTH SIDE YARD SETBACK REDUCTION, AND EIGHT FOOT (8') WEST REAR YARD SETBACK REDUCTION; LOCATION – 190 SOUTH ELM STREET; APPLICANT – DANTE TOMASINI; REPRESENTATIVE – DOUGLAS R. FANER**

Chair George stated that staff is recommending that the item be continued to a date certain of July 19, 2016 due to the project site notice not being adequately posted.

Action: Commissioner Keen moved for a continuance to a date certain of July 19, 2016, Commissioner Mack seconded and the motion passed unanimously with a voice vote.

- 8.b. CONSIDERATION OF CONDITIONAL USE PERMIT NO. 15-008 AND VARIANCE NO. 16-002; INSTALLATION OF A WIRELESS TELECOMMUNICATION FACILITY; LOCATION – 459 PUESTA DEL SOL (RESERVOIR NO. 5); APPLICANT – VERIZON WIRELESS; REPRESENTATIVE – TRICIA KNIGHT**

Chair George declared a conflict of interest, stepped down from the dais, and left the room.

Associate Planner Heffernon presented the staff report recommending that the Commission adopt a Resolution approving Conditional Use Permit No. 15-008 and Variance No. 16-002 and responded to questions from the Commission regarding the proposed project, including radio frequency safety issues.

Tricia Knight, Representative, Verizon Wireless, responded to questions from the Commission on the proposed wireless telecommunication facility, including the guard rail meeting Building Code requirements and the type of material and fencing around the tank.

Vice Chair Keen opened the public hearing.

Mark Arnet, 461 Puesta Del Sol, spoke in opposition to the proposed project. He expressed concerns regarding additional traffic, the noise coming from the existing back-up generator, people currently smoking in the area, radio frequency, allowing other carriers in the future, and his property value going down due to the proposed project.

At the Commission's request, Ms. Knight, addressed Mr. Arnet's concerns, stating the tank is unmanned, there is no generator, the workers will be informed about the smoking issue, any carrier that wants to add a cell site has to come before the Commission, the frequency level will be reevaluated after installation to confirm adequate safety, and responded to questions from the Commission.

The Commission provided the following comments and concerns on the proposed project: would like a post construction frequency report to be provided to the City, the site be non-smoking, and suggested low noise activity.

Associate Planner Heffernon responded to questions, and stated the Commission could add a condition to post a "no smoking within the premises" sign.

Action: Commissioner Mack moved to adopt a resolution entitled “**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARROYO GRANDE APPROVING CONDITIONAL USE PERMIT NO. 15-008 AND VARIANCE NO. 16-002, APPLIED FOR BY VERIZON WIRELESS, LOCATED AT 459 PUESTA DEL SOL**”, as modified: Add Condition of Approval for 1) a visible “No Smoking” sign shall be posted within the project site, and 2) that a second radio frequency study shall be prepared and submitted to the Community Development Department within sixty (60) days after the facility is operational. Commissioner Martin seconded, and the motion passed on the following roll call vote:

AYES: Mack, Martin, Fowler-Payne, Keen
NOES: None
ABSENT: George

Chair George returned to the dais.

8.c. CONSIDERATION OF TENTATIVE PARCEL MAP 15-001 AND PLANNED UNIT DEVELOPMENT 15-001; SUBDIVISION OF ONE (1) LOT INTO FOUR (4) LOTS AND CONSTRUCTION OF FOUR (4) ONE-BEDROOM SINGLE-FAMILY ATTACHED RESIDENCES; LOCATION – 1177 ASH STREET; APPLICANT – JEFFREY EMRICK

Associate Planner Heffernon presented the staff report recommending that the Commission adopt a Resolution approving Tentative Parcel Map 15-001 and Planned Unit Development 15-001 and responded to questions from the Commission regarding the proposed project, including fire access plan, requirement of a fire hydrant, guest parking stalls, trash pick-up, responsibility of maintenance of the sewer laterals, necessity of a Home Owner’s Association, any requirement for a traffic report, and stated the division of the lot is what is requiring the public hearing.

City Engineer Horn responded to questions from the Commission on the proposed project including location of sewer main, laterals, and traffic report.

Jeff Emrick, representative, stated he worked with the trash company on the location of trash containers, which will be on-site adjacent to the homes, parking requirements are exceeded, clarified the open space deviation, each unit will include fire sprinklers, and that there is no Home Owners’ Association. Mr. Emrick responded to questions and comments from the Commission including setbacks, owner of the front house, and landscaping in the back yards.

Chair George opened the public hearing.

Beverly Cloud, speaking on behalf of her granddaughter/owner in front of the proposed project, added to a letter previously submitted, expressing concern with parking, garbage trucks, excessive traffic in/out of the 18’ wide driveway, traffic on Ash Street , and opposed the density of the project.

Ed Hillyard, 1173 Ash Street, stated the basketball backstop would be facing his home; that Ash Street is congested; concern with parking, trash cans, noise from the garbage trucks; and maintenance of the fence between his property and the project site.

Diane Bonifacio, expressed concern with the traffic, safety with the possibility of the basketball going into street, water, trash, and postal carriers trying to deliver mail.

Chair George closed the public hearing.

Commissioner Mack provided the following comments: does not have a problem with the trash collection location, is not in favor of the City maintaining improvements on private property, would prefer additional guest parking stalls instead of the basketball court, does not support the architecture, is in support of the density, parking, internal setbacks, and would prefer a 10' rear setback.

Commissioner Fowler-Payne provided the following comments: asked if landscaping could be done to buffer the 18' wide driveway access, suggested installing "no parking" to prohibit parking along the frontage, suggested adding a condition that the developer pay for the fence, does not see a need for the basketball court, does not see the need for the garbage truck to back down the driveway and suggested putting the trash cans out on the street since there will not be much green waste or recycling.

Commissioner Martin provided the following comments: stated parking is an ongoing problem and this area is possibly the most congested part in the City, the project is appropriate for the site, the easement existed when the front house was purchased, supports the two parking spaces instead of the open space, the fence will be built and maintained by the owner of the proposed project, the parking needs are more critical than the basketball court, water and sewer line for the project will have negligible impact, and supports the City being responsible for the 8" sewer main.

Commissioner Keen provided the following comments: the City should not maintain the sewer main on private property, does not support the architecture, does not think the basketball court is appropriate, supports Condition of Approval No. 71, and the garbage truck backing into the project is a better alternative than impacting parking on Ash Street.

Commissioner George provided the following comments: does not support the architecture, the proposed project does not meet the development standards and therefore requires a PUD, does not meet the PUD criteria regarding open space, and cannot support the proposed project.

Action: Commissioner Martin moved to adopt a resolution entitled "**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARROYO GRANDE APPROVING TENTATIVE PARCEL MAP 15-001 AND PLANNED UNIT DEVELOPMENT 15-001; LOCATED AT 1177 ASH STREET; APPLIED FOR BY JEFF EMRICK**", as modified: 1) to remove Condition of Approval No. 80., 2) Modify Condition of Approval No. 95. to remove HOA and add the common area to be maintained by a maintenance agreement; 3) Condition of Approval No. 94. - Remove the word "if", 4) allow the basketball court to be optional, 5) require the fence be maintained by the owners and not the adjacent property owner. Commissioner Keen seconded, and the motion failed on the following roll call vote:

AYES: Martin, Keen
NOES: Fowler-Payne, Mack, George
ABSENT: None

Individual Commissioners discussed sending the project back to the Architectural Review Committee with the Commission's issues, including architectural style, and impacts the proposed project will have on the neighborhood.

Chair George and Commissioner Fowler-Payne opposed the project and voiced their preference not to continue the item.

Action: Commissioner Martin moved to continue the item to a date uncertain and require the proposed project to return to the ARC for a second evaluation, including looking at the impacts of the neighborhood. Commissioner Keen seconded, and the motion passed on the following roll call vote:

AYES: Martin, Keen, Mack
NOES: Fowler-Payne, George
ABSENT: None

9. NON-PUBLIC HEARING ITEM

None

10. NOTICE OF ADMINISTRATIVE DECISIONS SINCE JUNE 21, 2015

This is a notice of administrative decision for Minor Use Permits, including any approvals, denials or referrals by the Community Development Director. An administrative decision must be appealed or called up for review by the Planning Commission by a majority vote.

Case No.	Applicant	Address	Description	Action	Planner
TUP 16-008	South County Transit	800 Rodeo Drive	Extended use of County property for South County Transit bus parking yard.	A	K. Heffernon

In answer to Commissioner Keen, Associate Planner Heffernon stated the TUP is due to the previous permit expiring and will fill in the gap until a new CUP is approved.

11. COMMISSION COMMUNICATIONS

Commissioner Mack, referencing 8.c., stated that the last person developing should not have to fix a parking problem and suggested to come up with a parking permit, add signs for “No Truck” parking for commercial vehicles. Planning Manager Downing stated he will follow up on the commercial truck. He stated there is Neighborhood Traffic Calming Guideline and he can discuss with Diane Bonifacio, resident who wrote a letter.

In answer to Commissioner Fowler-Payne, Associate Planner Heffernon stated that trucks will be looked at in association with the Home Occupation Permits.

Commissioner Fowler-Payne reported that there are boats parked on the street. Planning Manager Downing stated staff will look into the issue and stated the City relies on resident complaints.

Commissioner Mack asked staff to review the vehicles on Ash Street. Planning Manager Downing stated that staff will contact Neighborhood Services on this matter.

In answer to Chair George, Ms. Heffernon gave updates on grey water, electric vehicles, and solar and stated staff will be taking the PACE program to the City Council, which is an incentive to get a low rate for renewable energy.

In answer to Commissioner Keen, Planning Manager Downing stated the City does not have anything in the Municipal Code prohibiting homes being constructed of Sea Train containers.

12. STAFF COMMUNICATIONS

Planning Manager Downing gave a brief update on the upcoming City Council Chambers remodel project.

In answer to Commissioner Mack, Planning Manager Downing said staff has prepared draft parking surveys for the parking standards update.

13. ADJOURNMENT

On motion by Commissioner George, seconded by Commissioner Keen and unanimously carried, the meeting adjourned at 8:25 p.m.

ATTEST:

**DEBBIE WEICHINGER
SECRETARY TO THE PLANNING COMMISSION**

LAN GEORGE, CHAIR

(Approved at PC meeting)



MEMORANDUM

TO: PLANNING COMMISSION

FROM: TERESA McCLISH, COMMUNITY DEVELOPMENT DIRECTOR

BY: SAM ANDERSON, PLANNING TECHNICIAN

SUBJECT: CONTINUED CONSIDERATION OF VARIANCE CASE NO. 16-001 & VIEWSHED REVIEW CASE NO. 16-001; CONVERSION OF EXISTING HOME TO SECONDARY DWELLING UNIT AND CONSTRUCTION OF A NEW TWO-STORY SINGLE FAMILY HOME, THREE (3) CAR GARAGE, FIVE FOOT (5') SOUTH SIDE YARD SETBACK REDUCTION, AND EIGHT FOOT (8') WEST REAR YARD SETBACK REDUCTION; LOCATION – 190 SOUTH ELM STREET; APPLICANT – DANTE TOMASINI; REPRESENTATIVE – DOUGLAS R. FANER

DATE: JULY 19, 2016

RECOMMENDATION:

It is recommended that the Planning Commission adopt a Resolution approving Variance 16-001 & Viewshed Review 16-001.

IMPACT ON FINANCIAL AND PERSONNEL RESOURCES:

None.

BACKGROUND:

Location



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CONSIDERATION OF VARIANCE 16-001 AND VIEWSHED REVIEW 16-001
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The subject property is zoned Multi Family (MF), and requires a Variance for reductions side and rear yard setbacks, and a Minor Use Permit – Viewshed Review for construction of a new two story home.

The City Council adopted Resolution No. 4052 on November 13, 2007, approving General Plan Amendment Case No. 06-003 to amend the General Plan land use designation and map for thirteen (13) properties along South Elm Street from Medium Density Single-family Residential to Medium-High Density Multi-family Residential (Attachment 1). The City Council also adopted Ordinance No. 593 on November 27, 2007, approving Development Code Amendment Case No. 06-005 for the rezoning of the same thirteen (13) properties along South Elm Street from Single Family (SF) to Multi-Family (MF). This rezoning was in response to several factors, including the identification of the property as an opportunity site for infill development and densification in the 2003 Housing Element of the General Plan. This identification was due to the surrounding multi-family zoning and development as well as the area's proximity to the mixed use corridor on E. Grand Avenue. Additionally, the increased potential for infill development and densification along South Elm Street was considered to compensate for the loss of density approved at the same time at the corner of South Halcyon Road and Fair Oaks Avenue (Attachment 2).

Architectural Review Committee:

The Architectural Review Committee (ARC) reviewed the proposed project at a meeting on April 18, 2016 (Attachment 3). Members of the ARC discussed the Variance, reducing the size of the driveway, and color palates. Members of the ARC were in support of the project with changes that have since been made to project plans, including widening the turnaround space, adding landscaping to the driveway, a patio space, windows to the garage door, wood chips around the Coast Live Oak, and columns to the entryway overhang.

ANALYSIS OF ISSUES:

Project Description

The applicant is proposing to convert an existing single-family residence to a secondary dwelling unit and to construct a new two-story single family home in the rear of the property in the MF zoning district. The applicant has applied for a variance to reduce the side yard setback on the south side of the property from ten feet (10') to five feet (5') as well as a rear yard setback reduction on the west side of the property from twenty feet (20') to twelve feet (12').

The project site is an existing 7,000 sq. ft. rectangular lot (50' by 140') located in the MF zoning district. The lot's width of fifty feet (50') is less than the required width for a new lot in the Multi-Family zoning district of eighty feet (80'). Additionally, the Multi-Family zoning district has side yard setbacks of ten feet (10') on either side. These setbacks are higher than the side yard setbacks of five feet (5') found in the Single-Family zoning district, which have a minimum lot width of seventy feet (70'). The

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CONSIDERATION OF VARIANCE 16-001 AND VIEWSHED REVIEW 16-001
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applicant is requesting the side yard variance due to these unusually restrictive setbacks on the property, which would force the proposed development to not be feasible. Additionally, the applicant is requesting the rear yard variance of eight feet (8') to allow for a safer driveway turnaround of twenty four feet one inch (24'1") and provide adequate room for the uncovered parking space required for the secondary dwelling unit. This request is in line with previous structures constructed and permits issued on neighboring lots and properties.

Based on the size of the subject property and number of dwelling units per gross acre allowed in the Multi-Family zoning district, the property is only able to build 1.4 dwelling units, which rounds down to one (1) unit. However, secondary dwelling units do not count toward this density and are regulated to ensure they do not adversely impact either adjacent parcels or the surrounding neighborhood.

The existing single family home totals 1,015 sq. ft, which is less than the maximum size for a secondary dwelling unit in the Multi Family zoning district of 1,200 sq. ft. The proposed single family home totals 2,689 sq. ft. The project meets all applicable Arroyo Grande Municipal Code Standards such as parking, height, lot coverage, floor area ratio, etc, except for the setback infringements on the south and west sides of the property.

General Plan

The Land Use Element and Housing Element of the General Plan each contain objectives and policies that support the proposed project. Land Use Objective **LU3** states: the City shall accommodate a broad range of Multi Family Residential (MFR) and special needs housing types and densities within the City.

Additionally, Housing Element Policy **A.2** states: that the City shall utilize incentives for the production of affordable housing including allowing secondary dwelling units under specified criteria.

Architectural Character

The proposed project is designed in a modern cottage style, with pitched roof and stone veneer elements. The project is a simple design; almost entirely rectangular, with a small cantilevered second story overhanging the front facing garage. The proposed home will not be very visible from the street due to the existing structure's location on the front of the property. Livable space will surround both above and behind the garage. Windows and small roof dormers provide some level of visual interest on the project. A color board and colored elevations will be provided at the meeting.

Landscaping

Landscaping changes are minimal for the proposed project. The changes proposed are to install a small decomposed granite area and two (2) Mediterranean Fan Palms on small banks in the corners of the rear yard behind the proposed residence.

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CONSIDERATION OF VARIANCE 16-001 AND VIEWSHED REVIEW 16-001
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The existing Coast Live Oak tree will be retained. Prior to issuance of building permit, the project will be reviewed for compliance with the State Model Water Efficient Landscape Ordinance.

ALTERNATIVES:

The following alternatives are presented for Planning Commission consideration:

1. Adopt the attached Resolution, approving Variance Case No. 16-001 & Viewshed Review Case No. 16-001; or
2. Modify and adopt the attached Resolution, approving Variance Case No. 16-001 and Viewshed Review Case No. 16-001; or
3. Do not adopt the attached Resolution, take tentative action to Deny Variance Case No. 16-001 & Viewshed Review Case No. 16-001 and provide direction on specific findings for denial of Variance case No. 16-001 & Viewshed Review Case No. 16-001; or
4. Provide direction to staff.

ADVANTAGES:

The proposed project is consistent with the General Plan, Development Code expected setbacks for a single-family sized lot, and will allow the property owners to provide a secondary dwelling unit in the MF zoning district. This is a way to provide denser housing in the MF zoning district on lots too small for traditional multi-family developments.

DISADVANTAGES:

The proposed project would require a variation in development standards for reduced setbacks on the property.

ENVIRONMENTAL REVIEW:

The project has been reviewed in accordance with the California Environmental Quality Act (CEQA) Guidelines and staff has determined it to be categorically exempt per Section 15305(a) – Minor Alterations in Land Use Limitations and Section 15332(b) – In-Fill Development Projects – of the CEQA Guidelines.

PUBLIC NOTICE AND COMMENT:

A public hearing notice was mailed to all property owners within 300' of the site, was posted in the Tribune, and was posted at City Hall and on the City's website on Friday, June 10, 2016. The agenda and staff report were posted at City Hall and on the City's website on July 15, 2016. Project has been continued to date certain of July 19, 2016 to allow for proper noticing. No public comments have been received.

Attachments:

1. City Council Resolution No. 4052
2. City Council minutes, November 13, 2007
3. Minutes of the April 18, 2016 Architectural Review Committee Meeting

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4. Project Plans

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARROYO GRANDE APPROVING VARIANCE 16-001 AND VIEWSHED REVIEW 16-001; LOCATED AT 190 SOUTH ELM STREET; APPLIED FOR BY DANTE TOMASINI

WHEREAS, the applicant submitted an application for Variance 16-001 and Viewshed Review 16-001 for conversion of an existing home to a secondary dwelling unit and construction of one (1) new two-story single family home, a three (3) car garage, a five foot (5') south side yard setback reduction and an eight foot (8') rear yard setback reduction on January 6, 2016; and

WHEREAS, the Architectural Review Committee recommended approval of Variance 16-001 and Viewshed Review 16-001 based upon the findings for approval of the permit on April 18, 2016; and

WHEREAS, the Planning Commission has reviewed the project in compliance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the Arroyo Grande Rules and Procedures for Implementation of CEQA and has determined that the project is exempt per Section 15305(a) of the CEQA Guidelines regarding minor alterations in land use limitations and Section 15332(b) – in-fill development projects; and

WHEREAS, the Planning Commission of the City of Arroyo Grande has reviewed the project at a duly noticed public hearing on July 19, 2016; and

WHEREAS, the Planning Commission finds, after due study, deliberation and public hearing, that the following circumstances exist and findings can be made:

FINDINGS FOR APPROVAL - VARIANCE:

1. That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary hardship not otherwise shared by others within the surrounding area;

The project is located on a legally non-conforming lot in regards to width and minimum lot size. Additionally, the project is a single-family home located on a property zoned Multi-Family. Strict or literal interpretation of the specified regulation would result in practical difficulty in any efforts to build denser housing not typically faced on nearby properties.

2. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property that do not apply generally to other properties classified in the same zone;

RESOLUTION NO.

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The majority of properties zoned Multi-Family in Arroyo Grande are significantly larger than the property in question. The irregular width of the property is an exceptional or extraordinary circumstance that creates an issue with increasing density in the Multi-Family zone.

3. That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zone;

The Multi-Family zone is intended to provide for a variety of residential uses, encourage diversity in housing types with enhanced amenities, or provide transitions between higher intensity and lower intensity use. Strict or literal interpretation and enforcement of the specified regulations would deprive the applicant of the privileges enjoyed by the owners of properties classified in the same zone by preventing denser housing development.

4. That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties classified in the same zone;

The granting of the variance will not constitute a grant of special privileges inconsistent with the limitations on other properties classified in the same zone. The majority of properties zoned Multi-Family are legally conforming lots and contain multi-family development. The property in question is legally non-conforming in regards to width and contains a single-family home. Properties zoned Single-Family would not face the stricter setbacks currently in place for this property.

5. That the granting of the variance will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity;

The granting of the variance will permit higher density housing options in a Multi-Family zoning district. This will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity, as similar projects in the past have been approved nearby.

6. That the granting of a variance is consistent with the objectives and policies of the general plan and the intent of this title;

*The granting of the Variance is consistent with the objectives and policies of the General Plan and implements Land Use Objective **LU3** and Housing element Policy **A.2** by providing a broad range of Multi Family Residential housing, including allowing secondary dwelling units.*

RESOLUTION NO.

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FINDINGS FOR APPROVAL – VIEWSHED REVIEW:

1. The proposed structure is consistent with the intent of Municipal code Section 16.16.110;

Second story additions are allowed in the Multi-Family zoning district with the approval of a Viewshed Review. The project has been reviewed to ensure that views, aesthetics, and other property values in the neighborhood are maintained.

2. The proposed structure is consistent with the established scale and character of the neighborhood and will not unreasonably or unnecessarily affect views of surrounding properties;

The proposed structure is consistent with the established scale and character of the neighborhood; homes on both sides of the property contain second story elements. The project will not unreasonably or unnecessarily affect views of the surrounding properties.

3. The proposed structure will not unreasonably or unnecessarily interfere with the scenic view from any other property, judged in light of permitting reasonable use and development of the property on which the proposed structure or expansion is to occur;

The proposed structure will not unreasonably or unnecessarily interfere with the scenic view from any other property, judged in light of permitting reasonable use and development of the property on which the proposed structure is to occur.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Arroyo Grande hereby approves Variance 16-001 and Viewshed review 16-001 as set forth in Exhibit “B”, attached hereto and incorporated herein by this reference, with the above findings and subject to the conditions as set forth in Exhibit “A”, attached hereto and incorporated herein by this reference.

On motion by Commissioner _____, seconded by Commissioner _____, and by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

The foregoing Resolution was adopted this 19th day of July 2016.

**RESOLUTION NO.
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ATTEST:

**DEBBIE WEICHINGER
SECRETARY TO THE COMMISSION**

LAN GEORGE, CHAIR

AS TO CONTENT:

**TERESA McCLISH
COMMUNITY DEVELOPMENT DIRECTOR**

**EXHIBIT "A"
CONDITIONS OF APPROVAL
VARIANCE 16-001
VIEWSHED REVIEW 16-001
190 SOUTH ELM STREET**

This approval authorizes the construction of a new two-story single family residence located at 190 South Elm Street.

CONDITIONS OF APPROVAL:

GENERAL CONDITIONS:

1. The applicant shall ascertain and comply with all State, County and City requirements as are applicable to this project including obtaining a building permit.
2. The project shall occur in conformance with the application and plans on file in the Community Development Department.
3. This application shall automatically expire on July 19, 2018, unless a building permit is issued. Thirty days prior to the expiration of the approval, the applicant may apply to the Community Development Director for an extension of one year from the original date of expiration.
4. The applicant shall agree to indemnify and defend at his/her sole expense any action brought against the City, its present or former agents, officers, or employees because of the issuance of this approval, or in any way relating to the implementation thereof, or in the alternative, to relinquish such approval. The applicant shall reimburse the City, its agents, officers, or employees, for any court costs and attorney's fees which the City, its agents, officers or employees may be required by a court to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve applicant of his/her obligations under this condition.
5. The applicant shall comply with the current California Codes including the specifically adopted City of Arroyo Grande.
6. The applicant shall obtain all necessary building permits prior to any construction or demolition.
7. Development shall conform to the Condominium/Townhouse (MF) zoning requirements except as follows: Rear Yard Setbacks – no less than twelve feet (12'); Side Yard Setbacks – no less than five feet (5').

RESOLUTION NO.

PAGE 6

8. The applicant shall record a deed restriction against the title of the property prior to the issuance of a building permit. The deed restriction shall stipulate that the second dwelling cannot be sold separately from the main residence.
9. The second residential dwelling shall be served by City water.

BUILDING DEPARTMENT CONDITIONS:

10. If the new building is within ten feet (10') of the existing single family residence, the existing residence shall be required to be fully sprinklered per Building and Life Safety Division Guidelines
11. **Prior to occupancy**, the new building must be fully sprinklered per Building and Life Safety Division guidelines.
12. Provide Fire Department approved access or sprinkler-system per National Fire Protection Association Standards.
13. **Prior to issuance of a building permit**, a demolition permit must be applied for, approved and issued. Development fees resulting from demolition will be appropriately credited to the property.

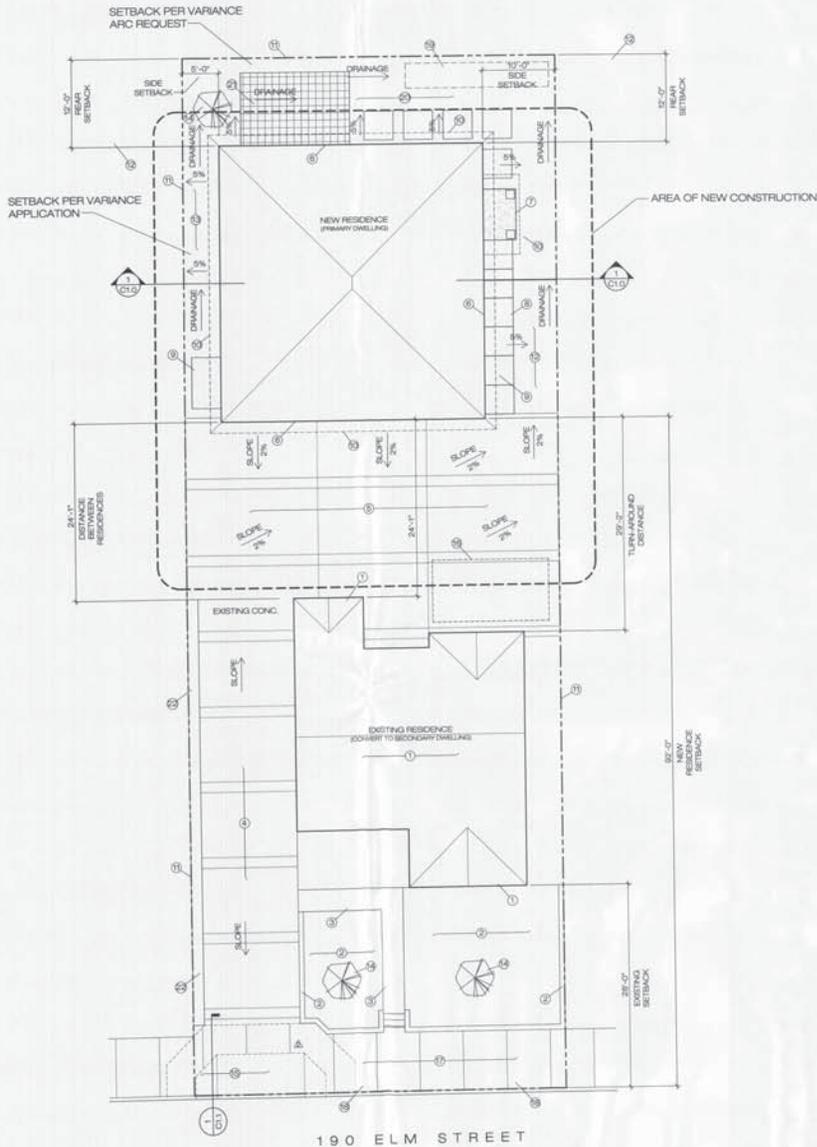
FEES TO BE PAID PRIOR TO ISSUANCE OF A BUILDING PERMIT:

14. **Water Meter, service main, distribution, and availability fees**, to be based on codes and rates in effect at the time of building permit issuance.
15. **Water Neutralization fee**, to be based on codes and rates in effect at the time of building permit issuance.
16. **Traffic Signalization fee**, to be based on codes and rates in effect at the time of building permit issuance.
17. **Sewer hook-up & facility Permit fees**, to be based on codes and rates in effect at the time of building permit issuance.
18. **Drainage fee**, as required by the area drainage plan for the area being developed.
19. **Building Permit fees**, to be based on codes and rates in effect at the time of building permit issuance.
20. **Strong Motion Instrumentation Program (SMIP) fee**, to be based on codes and rates in effect at the time of building permit issuance in accordance with State mandate.
21. **Park Development fee**, to be based on codes and rates in effect at the time of building permit issuance (Residential Development only).
22. **Park Improvements fee**, to be based on codes and rates in effect at the time of building permit issuance (Residential Development only).

RESOLUTION NO.

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23. **Street Tree fees**, to be based on codes and rates in effect at the time of building permit issuance (Residential Development only).
24. **Community Centers fee**, to be based on codes and rates in effect at the time of building permit issuance (Residential Development only).
25. **Fire Protection fee**, to be based on codes and rates in effect at the time of building permit issuance.
26. **Police Facilities fee**, to be based on codes and rates in effect at the time of building permit issuance.



ZCL SITE PLAN
SCALE: 1/8"=1'-0"

PROJECT DESCRIPTION

THIS PROJECT IS TO DEMOLISH A NEW RESIDENCE AT THE REAR OF THE PROPERTY, LOCATED AT 190 SOUTH ELM STREET, ARROYO GRANDE, CA 93420, AND APN 4071-153-034, LOT SIZE 7,275 SF. THE EXISTING RESIDENCE SITS AT THE FRONT OF THE PROPERTY ON ELM STREET AND IS APPROXIMATELY 1,026 SF. THE EXISTING RESIDENCE WILL BE CONVERTED TO THE SECONDARY DWELLING AND REMAIN UNCHANGED AND THE NEW RESIDENCE WILL BECOME THE PRIMARY RESIDENCE.

THE NEW RESIDENCE EXTERIOR SQUARE FOOTAGE WILL CONSIST OF 1,308 SF, FIRST FLOOR WITH A 1,381 SF, SECOND FLOOR.

THE FIRST FLOOR CONSISTS OF A 3 CAR GARAGE, BEDROOM, LAUNDRY BATH AND ENTRY. SECOND FLOOR CONSISTS OF A GREAT ROOM, THREE BEDROOMS AND TWO BATHROOMS.

THE LOT COVERAGE IS CALCULATED AS FOLLOWS:
BUILDING FOOTPRINTS SF: (NEW & EXISTING) / LOT SF. = COVERAGE %
2,326 SF. / 7,275 SF. = 32%
* THE LOT COVERAGE COMPLES WITH RESIDENTIAL SITE DEVELOPMENT STANDARDS FOR THE CITY OF ARROYO GRANDE.

THE TOTAL LIVING SPACE IS 483 SF, FIRST FLOOR WITH A 1,220 SF, SECOND FLOOR AND THE 954 SF, EXISTING RESIDENCE TOTALING 2,837 SF.

THE FLOOR AREA RATIO (FAR) IS CALCULATED AS FOLLOWS:
LIVING SPACE SF: (NEW & EXISTING) / LOT SF. + FAR
2,837 SF. / 7,275 SF. = .39
* THE FLOOR AREA RATIO COMPLES WITH RESIDENTIAL SITE DEVELOPMENT STANDARDS FOR THE CITY OF ARROYO GRANDE.

THE NEW RESIDENCE WILL BE CONSTRUCTED WITH WOOD FRAMING, STUCCO EXTERIOR FINISH WITH STONE HALF WALL DETAIL, 606 POST AND STONE COLUMNS AT ENTRY, VINYL, DUAL GLAZED WINDOWS AND COMPOSITION TILE FLOORING. THE DESIGN AND FINISHES WILL BE COMPLEMENTARY OF THE SURROUNDING AREAS.

PROJECT DATA

OWNER: DANTE TOMASINI / ANTONY N. TOMASINI
PROJECT ADDRESS: 190 SOUTH ELM STREET, ARROYO GRANDE, CA 93420
SITE SIZE: APPROX. 7,275 SF.
ACCESS/ PARCEL NO.: 077-153-034
ZONING: MULTIPLE-FAMILY (MF)
TOTAL NEW RESIDENCE (EXTERIOR): FIRST FLOOR 1,308 SF, 1st GARAGE SECOND FLOOR 1,381 SF, TOTAL: 2,689 SF.

REFERENCE NOTES

- EXISTING RESIDENCE TO REMAIN, (CONVERT TO SECONDARY DWELLING).
- EXISTING GARDEN WALLS AND YARD AT FRONT TO REMAIN.
- EXISTING CONCRETE WALK TO REMAIN.
- NEW DRIVEWAY, EXISTING CONCRETE DRIVEWAY TO BE REPLACED.
- NEW DRIVEWAY 24'-1" TURNAROUND FOR 3 CAR GARAGE.
- NEW PRIMARY RESIDENCE BUILDING FOOTPRINT.
- CONCRETE PORCH AT FRONT ENTRANCE.
- CONCRETE SIDEWALK TO FRONT PORCH.
- CONCRETE LANDING AT GARAGE MAIN DOORS.
- ROOF OVERHANG.
- PROPERTY LINE.
- SETBACKS PER RESIDENTIAL SITE DEVELOPMENT STANDARDS.
- SOUTH SIDE 5' SETBACK PER VARIANCE APPLICATION.
- EXISTING TREES TO REMAIN.
- NEW ADA DRIVEWAY APPROACH, SEE DETAIL 1/01/1
- DASHED LINE INDICATES NEW UNCOVERED PARKING SPACE.
- EXISTING SIDEWALK AT STREET TO BE REPAIRED OR CRACKS.
- FILL IN EXISTING LANDSCAPE STRIP WITH CONCRETE SIDEWALK.
- PROPOSED AREA OF ON-SITE DRAINAGE SYSTEM, BY SOILS COMPANY BY OWNER.
- SETBACKS PER ARCH REVIEW 04/18/2016.
- GRADE LEVEL PATIO WHEREVIOUS MATERIAL PAVERS.
- 18" STRIP OF SUSTAINABLE LOW MAINTENANCE.

DRAINAGE PLAN NOTES

GENERAL DRAINAGE SHOWN ON SITE PLAN. A DETAILED DRAINAGE PLAN WILL BE SUBMITTED FROM SOILS CO. BY OWNER DURING CONSTRUCTION DOCUMENT PROCESS. DRAINAGE PLAN WILL SHOW THE LOCATION AND SEVERITY OF THE 100 YEAR FLOODPLAN, AND HOW THAT WATER WILL BE DEALT WITH EITHER ON SITE WITH INFILTRATION RATES OR THROUGH A PUMP SYSTEM.

VICINITY MAP



GENERAL NOTES

CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL REPORT ANY CONFLICT OR INCONSISTENCIES FROM SUBCONTRACTORS TO THE DESIGNER.

TO PROMOTE CLEAR COMMUNICATIONS IN THE FIELD, ALL QUESTIONS AND CLARIFICATIONS SHALL BE SUBMITTED IN WRITING TO THE DESIGNER.

LOCATION OF UTILITIES AS SHOWN IN DRAWINGS IS BASED ON RECORD DRAWINGS. THE CONTRACTORS SHALL FIELD VERIFY THE LOCATION OF THESE UTILITIES.

ANY PERIODIC VISITS TO THE JOB SITE BY THE DESIGNER ARE FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THE TECHNICAL AND AESTHETIC PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND IN NO WAY A GUARANTEE OF INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE METHODS OR APPLIANCES USED BY THE CONTRACTOR NOR THE SAFETY OF THE JOB OR COMPLIANCE WITH THE LAWS AND REGULATIONS.

DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.

WHERE NO DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR ANY OTHER SIMILAR WORK OR AS DIRECTED BY THE GENERAL CONTRACTOR.

ALL WORK UNDER ALL SECTIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE HIGHEST STANDARDS OF PRACTICES RELATED TO THE TRADES INVOLVED AND SHALL BE COMPLETED AND PROPERLY COORDINATED WITH ALL WORK ADJACENT OR RELATED TO IT.

THE OWNER SHALL PAY FOR BUILDING AND OTHER PERMITS. THE CONTRACTOR SHALL OBTAIN BUILDING AND OTHER PERMITS FROM THE LOCAL JURISDICTION.

IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS THAT THE WORK DESCRIBED IS FOR A COMPLETE JOB. ALL COORDINATION, FEES, LABOR, MATERIALS, TOOLS, CONNECTIONS, EQUIPMENT, CLEANUP REQUIRED TO FULLY FINISH THE DESCRIBED PROJECT SHALL BE FURNISHED AND PAID FOR BY THE CONTRACTOR OR OWNER, ANY AND ALL EXCEPTIONS SHALL BE REQUESTED AND AGREED TO IN WRITING AT THE TIME OF THE BIDDING OF THE OWNER/CONTRACTOR AGREEMENT.

FINISH GRADE SHALL SLOPE AWAY FROM BUILDING 2% FOR A MINIMUM OF 3 FEET.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE PVC ELBOWS AND CHARGERS BENEATH PAVING AND CONCRETE SITE WORK TO ALL AREAS FOR INSTALLATION OF UTILITY LINES.

IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS THAT THE NEW CONSTRUCTION OF THIS PROJECT WHEN COMPLETED SHALL CONFORM TO THE CURRENT REGULATIONS AND CALIFORNIA BUILDING CODES AS SPECIFIED UNDER "APPLICABLE CODES" AT THE TIME OF THE FINAL PLAN CHECK.

WORK IN PURRED AREAS SHALL NOT BE CONCEALED UNTIL SUCH WORK HAS BEEN INSPECTED AND APPROVED BY THE INSPECTING AUTHORITIES IF SUCH AREAS ARE CONCEALED PRIOR TO INSPECTION AND APPROVAL, THE CONTRACTOR IS FINANCIALLY RESPONSIBLE FOR ALL WORK REQUIRED TO OPEN AND RESTORE CONCEALED AREAS.

APPLICABLE CODES

- 2013 CALIFORNIA BUILDING CODE (CBC) 2012 INTERNATIONAL BUILDING CODE (IBC)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2011 NATIONAL ELECTRICAL CODE (NEC)
- 2013 CALIFORNIA MECHANICAL CODE (CMC) 2012 UNIFORM MECHANICAL CODE (UMC)
- 2013 CALIFORNIA PLUMBING CODE (CPC) 2012 UNIFORM PLUMBING CODE (UPC)
- 2013 CALIFORNIA GREEN BUILDING CODES
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

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ELEVATIONS / COLOR BOARD	A2.1

ARCHITECTURAL LEGEND

GRID LINE SYMBOL	(A)
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DOOR (EXISTING)	(D)
DETAIL	(DT)
BUILDING SECTION	(BS)
ELEVATION SYMBOL	(E)
ELEVATION	(ELEV)
EARTH	(EARTH)
CONCRETE	(CONC)
ROUGH-FRAMING END CUT	(RF)
FINISH LUMBER	(LUMBER)



ASSOCIATE AIA
DOUG FANNER

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Project:
NEW RESIDENCE
MULTIPLE FAMILY (MF)

190 SOUTH ELM STREET
ARROYO GRANDE CA 93420



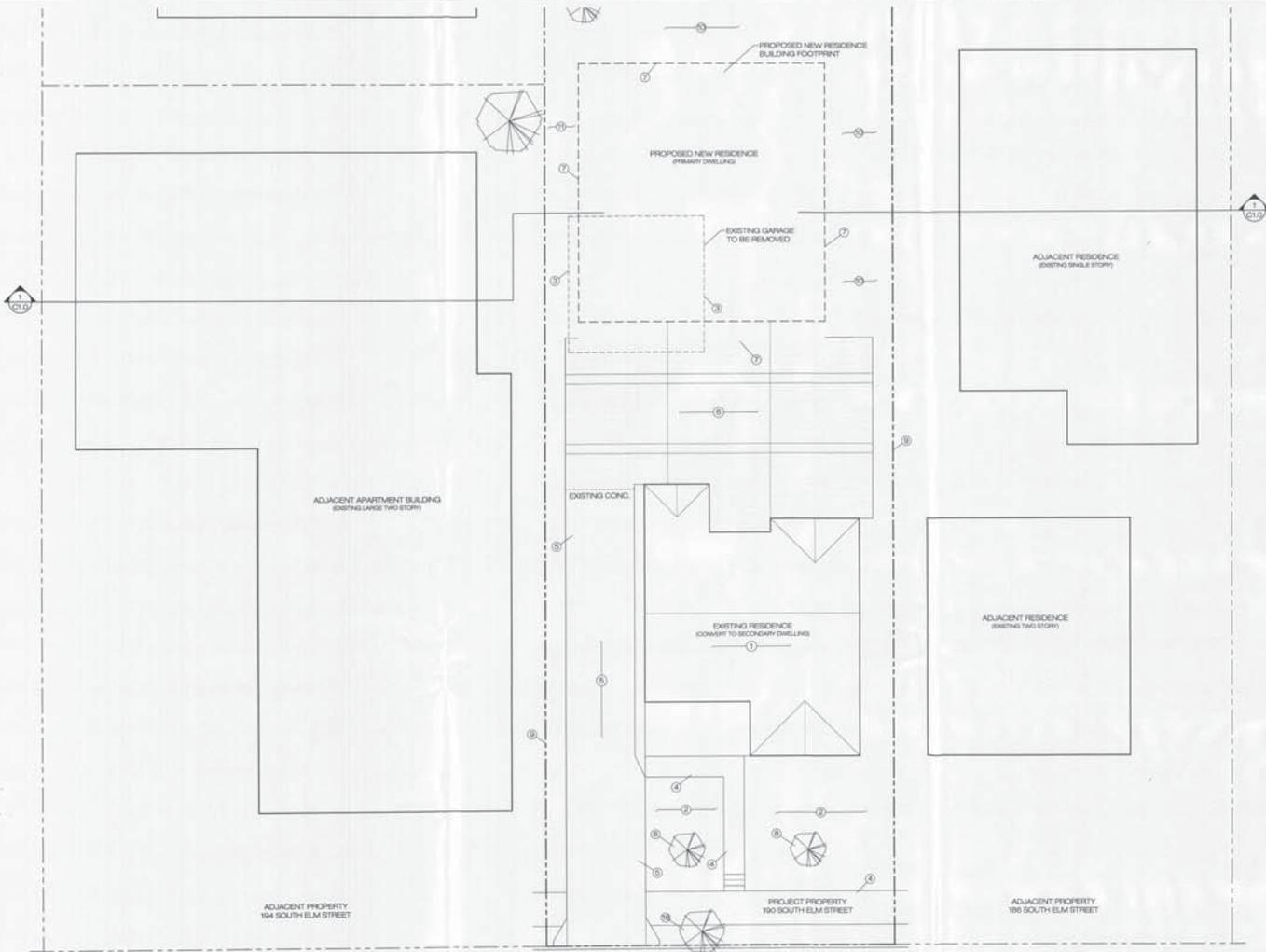
Revisions:
Per City of Arroyo Grande Staff Review 02/02/2016
Staff Advisory 02/10/2016
Engineering and Pub. Works 02/13/2016

Per City of Arroyo Grande Staff Advisory 04/7/2016
Per Architectural Review 04/18/2016

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TITLE SHEET
SITE PLAN

T1.0



STREET VIEW OF 190 SOUTH ELM



AERIAL VIEW OF 190 SOUTH ELM

1. EXISTING RESIDENCE TO REMAIN, CONVERT TO SECONDARY DWELLING.
2. EXISTING GARDEN WALLS AT FRONT TO REMAIN.
3. EXISTING GARAGE TO BE REMOVED.
4. EXISTING CONCRETE WALKS TO REMAIN AND BE REPAIRED.
5. EXISTING CONCRETE DRIVEWAY TO BE REMOVED AND REPLACED.
6. NEW DRIVEWAY TURNAROUND FOR 3 CAR GARAGE.
7. PROPOSED NEW PRIMARY RESIDENCE.
8. EXISTING TREES TO REMAIN.
9. PROPERTY LINE.
10. SETBACKS PER RESIDENTIAL SITE DEVELOPMENT STANDARDS, SEE SITE PLAN.
11. SOUTH SIDE 5' SETBACK PER VARIANCE APPLICATION.
12. SECTION OUTLINE OF PROPOSED NEW RESIDENCE.
13. SECTION OUTLINE OF EXISTING RESIDENCE AT FRONT OF PROPERTY, 190 ELM STREET.
14. SECTION OUTLINE OF ADJACENT APARTMENT BUILDING, 194 ELM STREET.
15. SECTION OUTLINE OF ADJACENT RESIDENCE, 186 ELM STREET.
16. SECTION OUTLINE OF EXISTING RESIDENCE AT FRONT OF PROPERTY, 186 ELM STREET.
17. EXISTING FENCES TO REMAIN.
18. EXISTING TREE AT CURB TO BE REMOVED TO ACCOMMODATE ADA DRIVEWAY.

REFERENCE NOTES



EXISTING TREES



PROPERTY LINES



EXISTING GARAGE TO BE REMOVED



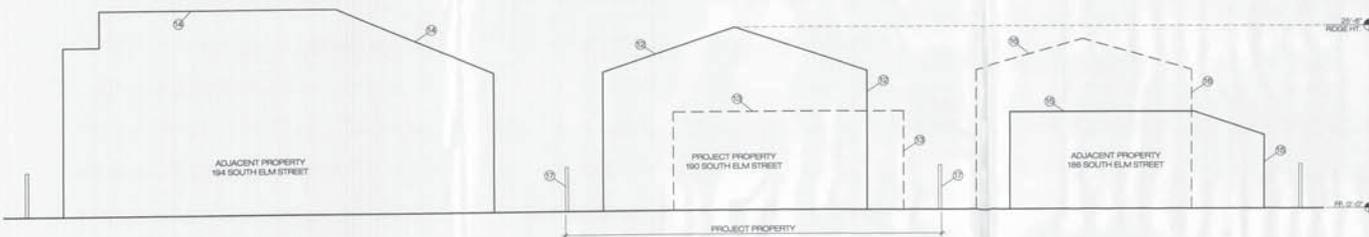
PROPOSED NEW PRIMARY RESIDENCE



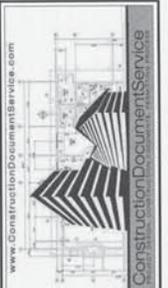
SHADED AREAS REPRESENT NEW AC DRIVEWAY / TURNAROUND

SITE LEGEND:

EXISTING AND ADJACENT SITE PLANS
SCALE 1/8"=1'-0"



SITE SECTION OF EXISTING AND ADJACENT PROPERTIES
SCALE 1/8"=1'-0"



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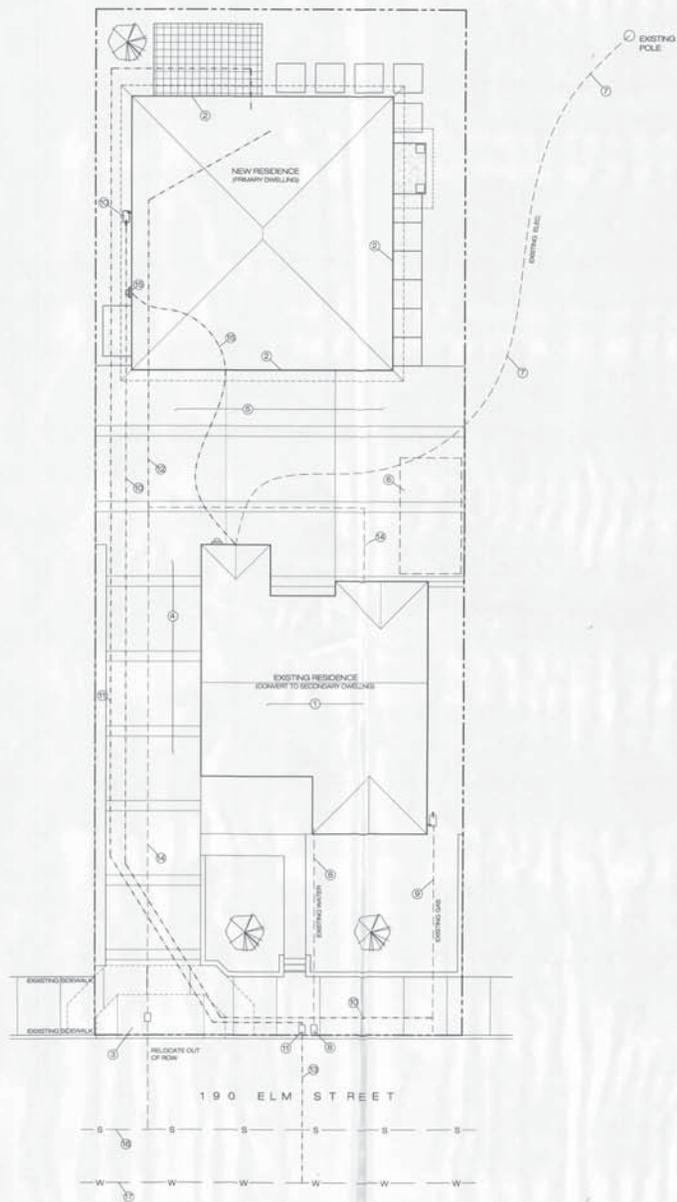
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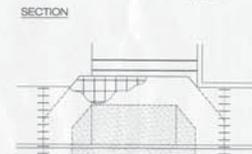
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EXISTING
SITE PLAN
AND
SITE SECTIONS

C1.0



- ▲ **WATER SPRINKLER NOTE**
NEW STRUCTURE MUST BE WATER-SPRINKLED, WHICH WILL REQUIRE A LARGER METER.
- ▲ **SEWER BACK FLOW DEVICE NOTE**
A BACK FLOW DEVICE WILL BE NECESSARY ON THE NEW SEWER LINE TO THE NEW STRUCTURE.
- ▲ **EXISTING AND NEW UTILITIES NOTE**
ALL EXISTING AND NEW UTILITIES TO BE RUN UNDERGROUND, COORDINATE WITH APPROPRIATE UTILITY COMPANIES.



ELEVATION

▲ 1 **ADA DRIVEWAY APPROACH DETAIL**

- 1. EXISTING RESIDENCE TO REMAIN.
- 2. PROPOSED NEW PRIMARY RESIDENCE BUILDING FOOTPRINT.
- ▲▲ 3. NEW ADA DRIVEWAY APPROACH.
- 4. NEW CONCRETE DRIVEWAY.
- ▲ 5. NEW TURN-AROUND AREA FOR NEW GARAGES.
- 6. NEW UNCOVERED PARKING SPACE.
- ▲ 7. EXISTING OVERHEAD UTILITIES TO BE RUN UNDERGROUND. COORDINATE WITH APPROPRIATE UTILITY COMPANY.
- ▲ 8. EXISTING WATERLINE, UNDERGROUND.
- ▲ 9. EXISTING GAS LINE, UNDERGROUND.
- ▲ 10. NEW GAS LINE AND METER.
- ▲ 11. NEW WATERLINE AND METER.
- ▲ 12. NEW SEWER LINE TO BE CONNECTED WITH EXISTING.
- ▲ 13. PROVIDE NEW 1" WATER SERVICE FROM MAIN TO METER BOX.
- 14. EXISTING SEWER LINE.
- 15. PROVIDE NEW ELECTRICAL LINE AND METER AT SIDE OF GARAGE.
- 16. EXISTING NEW ELECTRICAL LINE IN STREET TE-IN.
- 17. EXISTING WATER LINE IN STREET TE-IN.

REFERENCE NOTES



EXISTING TREES



PROPERTY LINES



PROPOSED NEW PRIMARY RESIDENCE



EXISTING UTILITY LINES



NEW UTILITY LINES

SITE LEGEND:



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Project:
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MULTIPLE FAMILY (MF)

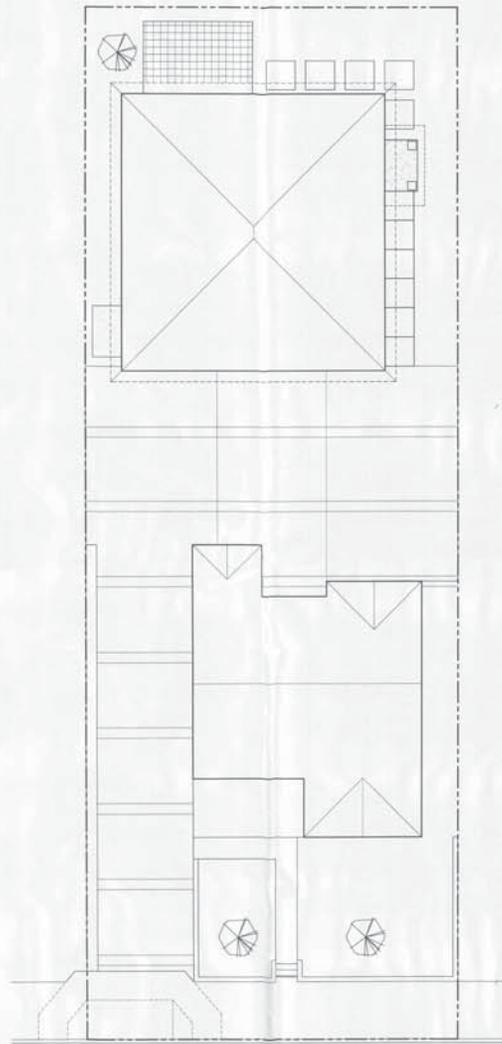
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Staff Advisory 02/10/2016
Engineering and Pub. Works 02/13/2016
▲ Per City of Arroyo Grande Staff Advisory 04/7/2016
▲ Per Architectural Review 04/18/2016

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UTILITY PLAN DRIVEWAY DETAIL

C1.1




LANDSCAPE PLAN
 SCALE 1/8"=1'-0"



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190 SOUTH ELM STREET
 ARROYO GRANDE CA 93420

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 Staff Review 02/22/2016
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 Engineering and Pub. Works
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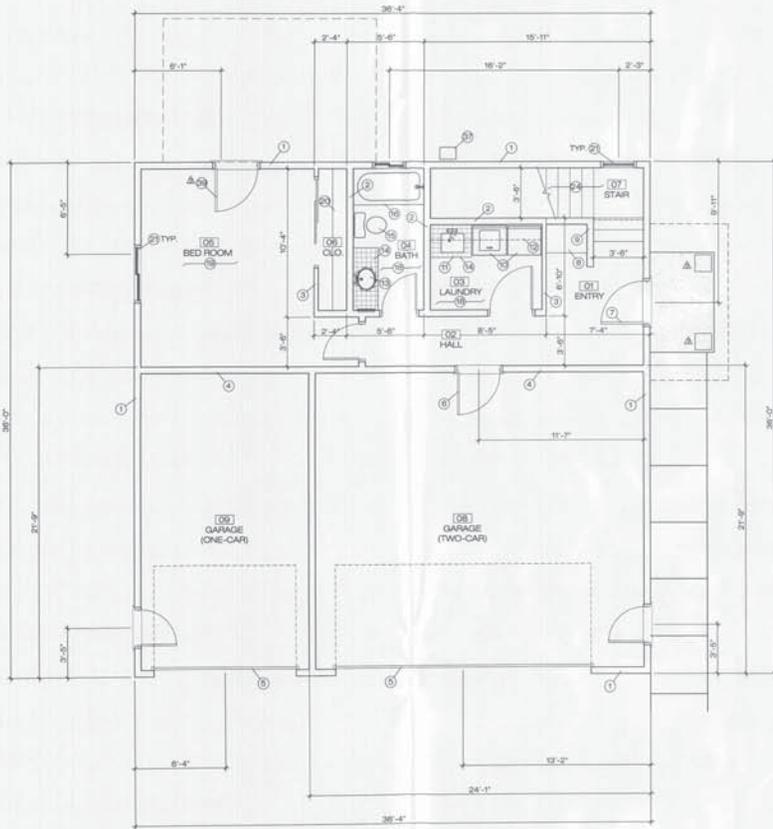
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 Staff Advisory 04/7/2016

 Per Architectural Review
 04/18/2016

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LANDSCAPE
PLAN

C1.2

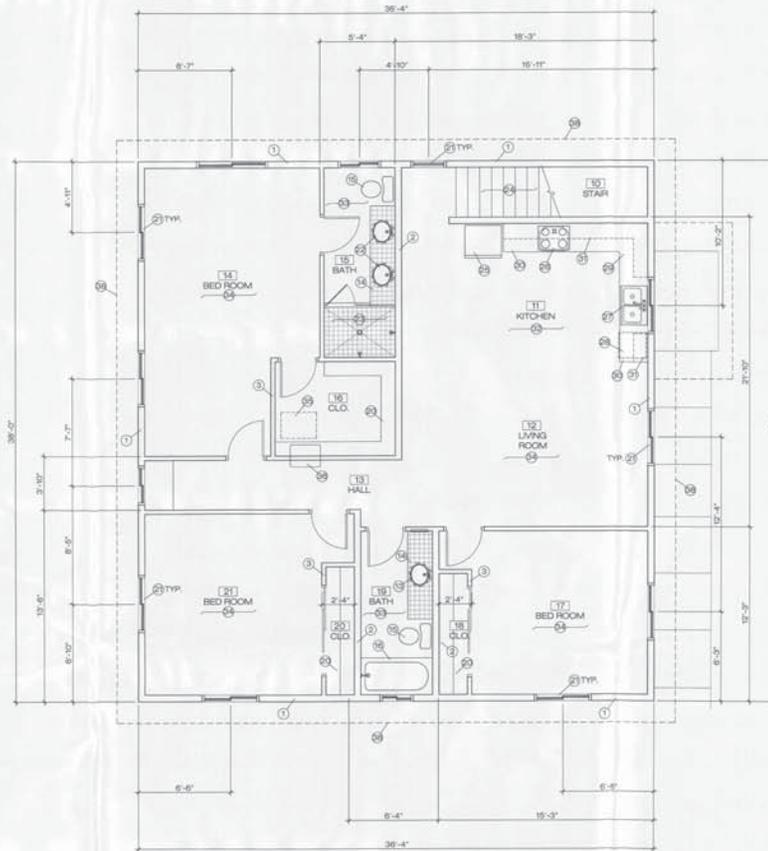


ZL FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

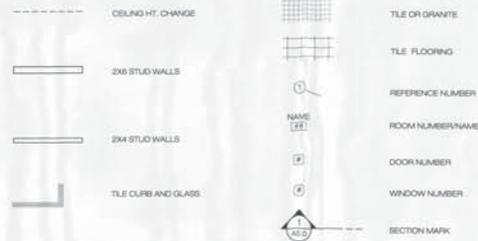
1. ALL EXTERIOR AND LOAD BEARING WALLS 2X6 DF. STUDS @ 16" O.C.
2. WALLS WITH PLUMBING 2X6 DF. STUDS @ 16" O.C.
3. INTERIOR WALLS, NON-LOAD BEARING, 2X4 DF. STUDS @ 16" O.C.
4. INTERIOR GARAGE WALL, (GARAGE TO HOUSE), 2X6 DF. STUDS @ 16" O.C. 5/8" TYPE X GYPSUM BOARD BOTH SIDES.
5. ALUMINUM ROLL-UP GARAGE DOORS AS SPECIFIED PER SCHEDULE.
6. GARAGE DOOR ENTRY TO HOUSE PER SCHEDULE.
7. SOLID CORE PANEL FRONT DOOR PER SCHEDULE.
8. 36" HT. WOOD CABINET AT ENTRY.
9. WOOD CAPPED SLOPED HALF WALL AT STAIR TERMINATION.
10. WASHER DRYER AT LAUNDRY ROOM.
11. WOOD CABINET WITH UTILITY SINK.
12. EXTENT OF UPPER CABINET.
13. WOOD CABINET WITH SINGLE SINK.

14. TILE/SOLID SURFACE COUNTERTOP.
15. CHINA CERAMIC TOILET.
16. STANDARD CERAMIC TUB-SHOWER.
17. INTERIOR WOOD DOORS PER SCHEDULE.
18. LINOLEUM TILE FLOORING.
19. CARPET.
20. CLOSET SH-ELF AND POLE.
21. WINDOWS PER SCHEDULE.
22. WOOD CABINET WITH DOUBLE SINK AT MASTER BATH.
23. CUSTOM FULL HEIGHT TILE SHOWER.
24. WOOD FRAMED STAIRS.
25. REFRIGERATOR.
26. GAS 4 BURNER STOVE TOP WITH OVEN.
27. KITCHEN CERAMIC SINK CENTERED AT WINDOW.

28. DISHWASHER.
29. SOLID SURFACE/TILE COUNTER TOPS AT KITCHEN.
30. EXTENT OF LOWER CABINETS.
31. EXTENT OF UPPER CABINETS.
32. TILE FLOORING AT KITCHEN.
33. TILE VINYL FLOORING AT BATHS.
34. CARPET FLOORING.
35. 30"x32" MIN. ATTIC ACCESS.
36. GAS FRED FORCED AIR UNIT (F.A.U.) IN ATTIC, SEE UTILITY PLAN.
37. ON-DEMAND GAS FRED WATER HEATER, SEE UTILITY PLAN.
38. LINE OF ROOF OVERHANG.
39. FULL-LITE DOOR PER APC 04/16/2016.
40. 6X6 DF. WOOD COLUMNS WITH 1/2 HT. STONE VENEER DETAIL.



ZL SECOND FLOOR PLAN
SCALE 1/4"=1'-0"



SHEET LEGEND

REFERENCE NOTES

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**CONSTRUCTION
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 1949 DEWALL RANCH DRIVE
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 L.C. # 790900
 2392 HUNSA ROAD
 ARROYO GRANDE, CA 93420
 PHONE: 805.471.2809
 EMAIL: tomasini@tcombs.net
 Client:
 DANTE TOMASINI
 ANTONIO L. TOMASINI
 2392 HUNSA ROAD
 ARROYO GRANDE, CA 93420
 Project:
 NEW RESIDENCE
 MULTIPLE FAMILY (MF)
 190 SOUTH ELM STREET
 ARROYO GRANDE, CA 93420
 Revisions:
 A Per City of Arroyo Grande
 Staff Review 02/02/2016
 Staff Advisory 02/10/2016
 Engineering and Pub. Works
 02/13/2016
 B Per City of Arroyo Grande
 Staff Advisory 04/7/2016
 C Per Architectural Review
 04/13/2016
 Date: 05.03.2016
 Scale: 1/4"=1'-0"
 Drawn By:
 DOUG FANER
**FLOOR
 PLAN**
A1.0



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1949 DEVALL RANCH DRIVE
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 LLC # 790900

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 EMAIL: tomasini@cdsps.com

Client:
 DANTE TOMASINI
 ANTONY A. TOMASINI
 2392 HIASNA ROAD
 ARROYO GRANDE CA 93420

Project:
 NEW RESIDENCE
 MULTIPLE FAMILY (MF)

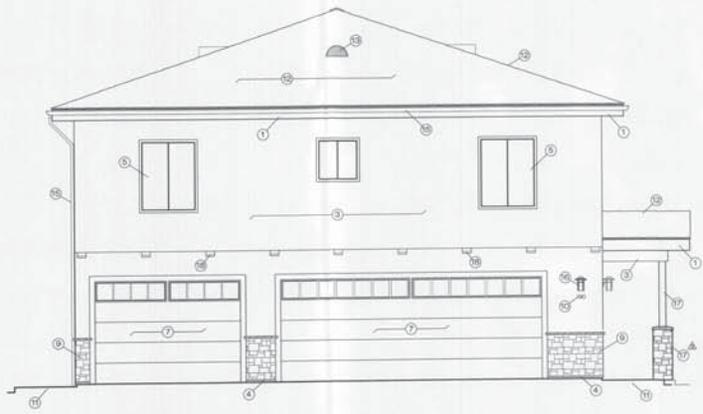
190 SOUTH ELM STREET
 ARROYO GRANDE CA 93420

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ELEVATIONS

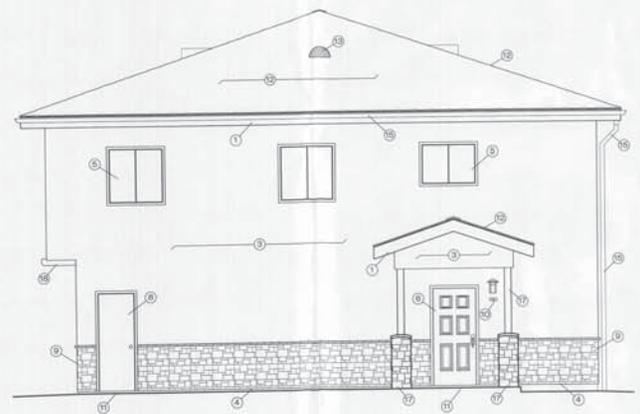
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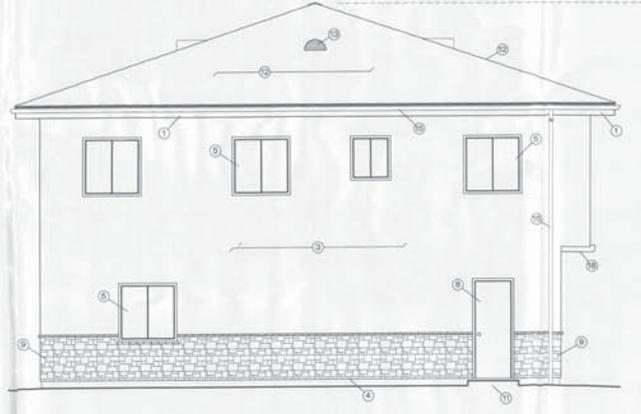
EAST ELEVATION
 SCALE 1/4"=1'-0"



WEST ELEVATION
 SCALE 1/4"=1'-0"



NORTH ELEVATION
 SCALE 1/4"=1'-0"



SOUTH ELEVATION
 SCALE 1/4"=1'-0"

1. 2X10 FASCI, SEE ARCHITECTURAL DETAIL.
2. WOOD EAVES WITH STARTER BOARDS.
3. 7/8" STUCCO FINISH W/COLOR COAT.
4. GALVANIZED WEEP SCREED WITH 3 1/2" ATTACHMENT FLANGE AND SHALL BE PLACED AT OR BELOW BOTTOM PLATE AND 4" MIN. FROM EARTH OR 2" MIN. FROM CONCRETE.
5. DUAL GLAZED WINDOWS, PER WINDOW SCHEDULE.
6. WOOD SOLID CORE PANELED FRONT DOOR.
7. ROLL-UP GARAGE DOOR.
8. WOOD SOLID CORE MAN DOORS AT GARAGES.
9. STONE VENEER AND CAP.
10. ADDRESS NUMBERS PLAINLY VISIBLE FROM STREET, 4" HEIGHT AND 1/2" STROKE WIDTH.

11. 4" CONCRETE DECKS OVER SAND BASE W/3 BARS EACH WAY@ 18" O.C. AT PATIOS/POUCHES/STOOPS.
12. COMPOSITION ROOFING, OVER 30 LB. FELT.
13. GALVANIZED DORMER VENTS.
14. UNDER EAVE BLOCK HOLE VENT.
15. GUTTER AND DOWNSPOUT, DRAINAGE TO UNDERGROUND.
16. EXTERIOR WALL MOUNTED LIGHTS.
17. 6X8 DF. WOOD COLLARS WITH 1/2" HT. STONE VENEER DETAIL.
18. 6X8 BEAMS AT CANTILEVER.
19. FULL-LITE EXTERIOR DOOR PER AISC 04/18/2016.



STONE CAP AND STONE VENEER HALF WALL.



6 X 8 BEAM AT CANTILEVER



ELEVATION HT. TAG



REFERENCE NUMBER

SHEET LEGEND

REFERENCE NOTES

RESOLUTION NO. 4052

A RESOLUTION OF THE CITY COUNCIL OF ARROYO GRANDE APPROVING GENERAL PLAN AMENDMENT CASE NO. 06-003 TO CHANGE THE GENERAL PLAN LAND USE DESIGNATION FOR FIVE PROPERTIES AT THE NORTHWEST CORNER OF S. HALCYON ROAD AND FAIR OAKS AVENUE FROM MULTIPLE FAMILY RESIDENTIAL VERY HIGH DENSITY TO MIXED USE OFFICE PROFESSIONAL; AND CHANGE THE LAND USE DESIGNATION FOR THIRTEEN PROPERTIES IN THE VICINITY OF S. ELM STREET NEAR POPLAR STREET FROM MEDIUM DENSITY SINGLE-FAMILY RESIDENTIAL TO MEDIUM-HIGH DENSITY MULTI-FAMILY RESIDENTIAL

WHEREAS, the City Council of Arroyo Grande adopted the updated General Plan which became effective on October 9, 2001 and which includes the Housing Element adopted in 2003 and updated on March 8, 2005; and

WHEREAS, the City has a responsibility to assure adherence to the General Plan in meeting the needs and desires of the residents and the community; and

WHEREAS, the Community Development Department has conducted current initial studies and concluded that environmental impacts associated with the project will be mitigated to less than significant as outlined in a draft Mitigated Negative Declaration dated June 28, 2007; and

WHEREAS, the City Council, after public hearing, consideration of the draft Mitigated Negative Declaration, all testimony and evidence presented, found the Mitigated Negative Declaration appropriate and adequate pursuant to State and local CEQA laws and guidelines including requirements per SB 18; and

WHEREAS, the City Council, after public hearing, consideration of staff report regarding the 2003 Housing Element and Land Use Elements, all testimony and evidence presented finds the proposed land use map changes as shown on Exhibit A to be appropriate and consistent with the intent of 2001 General Plan Update adopted policies, specifically those policies in the Housing Element and Land Use Element; and

WHEREAS, after consideration of all testimony and all relevant evidence, the City Council has determined that the following General Plan Amendment findings can be made in an affirmative manner:

1. The proposed amendment to the 2001 General Plan land use element designation provides consistency with the goals, objectives, policies and programs of the General Plan and is specifically consistent with the 2005 Housing Element Housing Opportunity Site Inventory; and

RESOLUTION NO. 4052

PAGE 2

2. The proposed amendment will not adversely affect the public health, safety, and welfare and is being considered concurrent with zoning amendments that provide for multi-family or single family use in the vicinity of South Elm Street and mixed residential and office use in the vicinity of South Halcyon Road and Fair Oaks Avenue; and
3. The proposal has been reviewed in compliance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the Arroyo Grande Rules and Procedures for Implementation of CEQA and it has determined that the proposed project is described and included in a Negative Declaration dated June 28, 2007; and

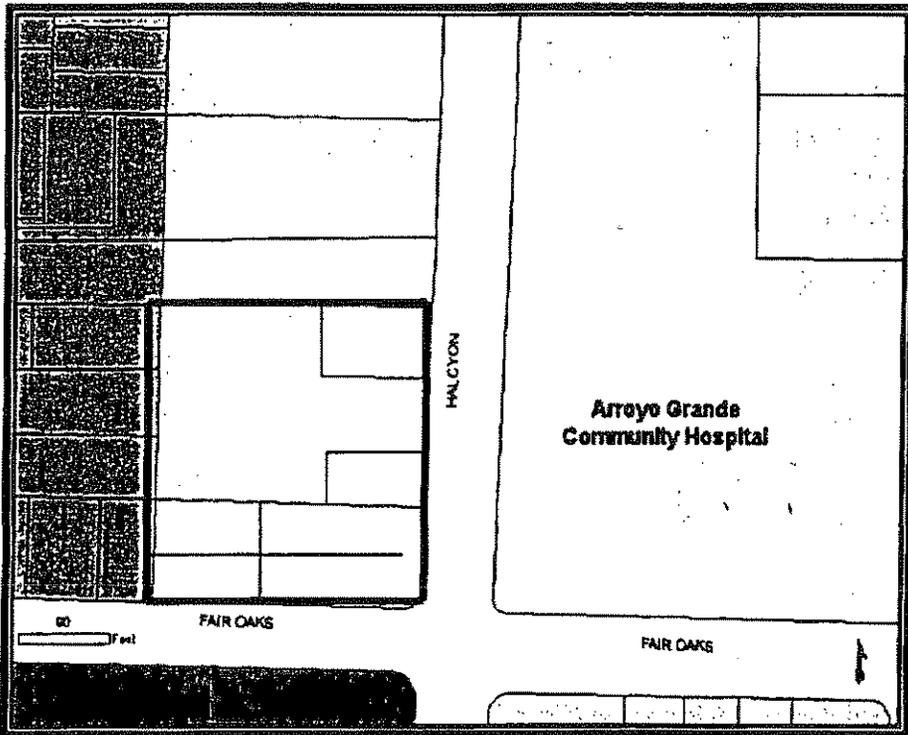
NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Arroyo Grande amends the General Plan Land Use Map as shown in Exhibit "A" attached hereto and incorporated herein by this reference.

On motion by Mayor Pro Tem Arnold, seconded by Council Member Costello, and by the following roll call vote, to wit:

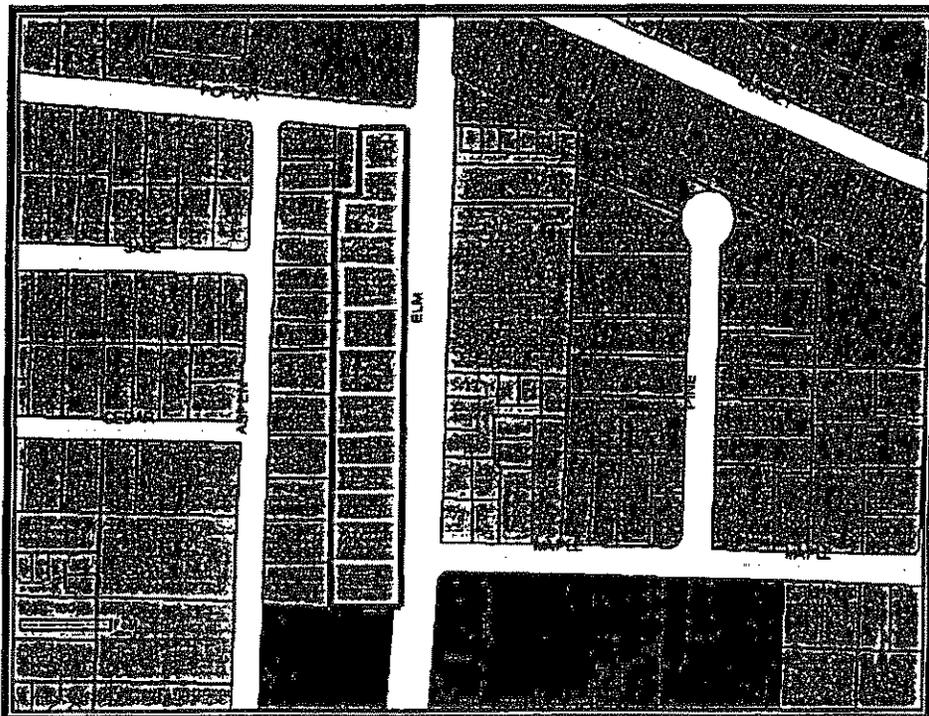
AYES: Council Members Arnold, Costello, Guthrie, Fellows, and Mayor Ferrara
NOES: None
ABSENT: None

the foregoing Resolution was adopted this 13th day of November 2007.

RESOLUTION EXHIBIT "A"



Area re-designated from Multiple Family Residential-Very High Density to Office Professional/Medical Hospital



Area re-designated from Single Family Residential Medium Density (SF) to Multiple Family Residential Medium-High Density (MF)

OFFICIAL CERTIFICATION

I, **KELLY WETMORE**, City Clerk of the City of Arroyo Grande, County of San Luis Obispo, State of California, do hereby certify under penalty of perjury, that the attached Resolution No. 4052 is a true, full, and correct copy of said Resolution passed and adopted at a regular meeting of the City Council of the City of Arroyo Grande on the 13th day of November 2007.

WITNESS my hand and the Seal of the City of Arroyo Grande affixed this 14th day of November 2007.



KELLY WETMORE, CITY CLERK

- 9.c. **Consideration of General Plan Amendment Case No. 06-003 to Amend the General Plan Land Use Map and Development Code Amendment Case No. 06-005 to Amend Title 16 of the Arroyo Grande Municipal Code Zoning Map - Co-Applicant The City of Arroyo Grande for Five Properties at the Northwest Corner of S. Halcyon Road and Fair Oaks Avenue and Co-Applicant - David Robasciotti for Thirteen Properties in the Vicinity of South Elm Street near Poplar Street.**

Associate Planner McClish presented the staff report and recommended the Council: 1) Adopt a Resolution to change the General Plan land use designation for five properties at the northwest corner of S. Halcyon Road and Fair Oaks Avenue from Multiple Family Residential Very High Density to Mixed Use Office Professional; and change the General Plan land use designation for thirteen properties in the vicinity of S. Elm Street near Poplar Street from Medium Density Single-family Residential to Medium-High Density Multi-family Residential; and 2) Introduce an Ordinance to change the zoning for five properties at the northwest corner of S. Halcyon Road and Fair Oaks Avenue from Multiple Family Residential Very High Density to Office Mixed Use; and change the zoning for the properties in the vicinity of S. Elm Street near Poplar Street from Single Family residential to Multi-Family. She noted for the record that the Ordinance had been modified to indicate the zone change would be to Multi-Family (MF), not Multi-Family Apartment (MFA).

Mayor Ferrara opened the public hearing.

Colleen Martin, Olive Street, noted that when a future project comes forward in the vicinity of S. Halcyon and Fair Oaks Avenue, there would be concerns expressed about traffic. She also spoke about the lack of curb, gutter, and sidewalk on portions of S. Elm Street and noted there is a need for substantial road improvements to ensure safe pedestrian traffic.

Dave Robasciotti, S. Elm Street, noted he has seen a lot of improvements along S. Elm Street over the years; however, the west side has been challenging. He spoke in support of the rezoning and stated this was a good opportunity for in-fill projects to improve S. Elm Street.

Hearing no further public comments, Mayor Ferrara closed the public hearing.

Council comments included general support for the rezoning proposals; some concern that the areas need to be reviewed more comprehensively, specifically S. Elm Street as it relates to evaluating higher density land uses; acknowledgement that there is a lot of potential on S. Halcyon for medical and office uses; acknowledgement that the proposed action would not preclude the City from completing a more comprehensive land use review in the future; a suggestion that design overlays may be appropriate for the S. Elm Street area; a suggestion that the City utilize Cal Poly students to prepare a comprehensive land use study of S. Elm Street; and a request that Lucia Mar Unified School District be notified and invited to participate on any future development proposals on Fair Oaks Avenue across from Harloe Elementary. In response to a question by Mayor Pro Tem Arnold, Mr. Robasciotti stated he did not have any development plans to submit at this time; however, he would support higher density zoning on the S. Elm Street if the City chose to study the matter further in the future.

Action: Mayor Pro Tem Arnold moved to adopt a Resolution as follows: "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ARROYO GRANDE APPROVING GENERAL PLAN AMENDMENT CASE NO. 06-003 TO CHANGE THE GENERAL PLAN LAND USE DESIGNATION

FOR FIVE PROPERTIES AT THE NORTHWEST CORNER OF S. HALCYON ROAD AND FAIR OAKS AVENUE FROM MULTIPLE FAMILY RESIDENTIAL VERY HIGH DENSITY TO MIXED USE OFFICE PROFESSIONAL; AND CHANGE THE LAND USE DESIGNATION FOR THIRTEEN PROPERTIES IN THE VICINITY OF S. ELM STREET NEAR POPLAR STREET FROM MEDIUM DENSITY SINGLE-FAMILY RESIDENTIAL TO MEDIUM-HIGH DENSITY MULTI-FAMILY RESIDENTIAL”, and to direct staff to look, in a timely manner, at potentially increasing the size of the project area and increasing the density. Council Member Costello seconded, and the motion passed on the following roll call vote:

AYES: Arnold, Costello, Guthrie, Fellows, Ferrara
NOES: None
ABSENT: None

Mayor Pro Tem Arnold moved to introduce an Ordinance as follows: **“AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ARROYO GRANDE APPROVING DEVELOPMENT CODE AMENDMENT CASE NO. 06-005 TO CHANGE THE ZONING FOR THE PROPERTIES AT 362; 370; 378; & 382 S. HALCYON ROAD & 906 FAIR OAKS AVENUE FROM MULTIPLE FAMILY RESIDENTIAL VERY HIGH DENSITY TO OFFICE MIXED USE; AND CHANGE THE ZONING FOR THE PROPERTIES AT 160; 162; 166; 168; 170; 174 178; 180; 186; 190; 194; & 198 S. ELM STREET & 1205 POPLAR STREET FROM SINGLE FAMILY RESIDENTIAL TO MULTI-FAMILY”.** Council Member Costello seconded, and the motion passed on the following roll call vote:

AYES: Arnold, Costello, Guthrie, Fellows, Ferrara
NOES: None
ABSENT: None

10. CONTINUED BUSINESS ITEMS

None.

11. NEW BUSINESS ITEMS

11.a. Consideration of Proposed Ordinance Amending the Arroyo Grande Municipal Code as it relates to Building and Construction Codes.

Director of Building and Fire Hubert and Building Official Hurst presented the staff report and recommended the Council introduce an Ordinance amending Arroyo Grande Municipal Code Section 8.04.010 related to the adoption of the California Fire Code and International Fire Code, adding Section 8.04.020 related to automatic fire sprinklers, amending Section 15.04.010 related to the adoption of the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Existing Building Code, and the International Property Maintenance Code and repealing and amending provisions within Titles 8, 12, 15 and 16 for internal consistency and clarification. Staff responded to questions from Council concerning the implementation of the Building Codes and regulations pertaining to fire sprinkler requirements.

Mayor Ferrara invited public comments from those in the audience who wished to be heard on the matter.

Steve Ross, Garden Street, expressed concerns about the impact to homes with fire sprinklers if water pipes freeze during the winter season. Building Official Hurst explained several methods that exist to protect the pipes in areas that are subject to freezing weather.

Upon hearing no further public comments, Mayor Ferrara closed the public comment period.

Action: Council Member Costello moved to introduce an Ordinance as follows: **"AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ARROYO GRANDE AMENDING ARROYO GRANDE MUNICIPAL CODE SECTION 8.04.010 RELATED TO THE ADOPTION OF THE CALIFORNIA FIRE CODE AND INTERNATIONAL FIRE CODE, ADDING SECTION 8.04.020 RELATED TO AUTOMATIC FIRE SPRINKLERS, AMENDING SECTION 15.04.010 RELATED TO THE ADOPTION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA EXISTING BUILDING CODE, AND THE INTERNATIONAL PROPERTY MAINTENANCE CODE AND REPEALING AND AMENDING PROVISIONS WITHIN TITLES 8, 12, 15 AND 16 FOR INTERNAL CONSISTENCY AND CLARIFICATION."** Council Member Fellows seconded, and the motion passed on the following roll call vote:

AYES: Costello, Fellows, Guthrie, Arnold, Ferrara
NOES: None
ABSENT: None

12. CITY COUNCIL MEMBER ITEMS

None.

13. CITY MANAGER ITEMS

None.

14. COUNCIL COMMUNICATIONS

Council Member Fellows stated he was pleased with the opening of the new Applebee's Restaurant and acknowledged staff's planning efforts related to the project, which included the removal of the large drainage basin on the property.

Mayor Ferrara thanked Kristen Barneich and the Tree Guild for their continued work and acknowledged the planting of new landscaping and trees in the parking lot at the center where Applebee's Restaurant is located.

Mayor Pro Tem Arnold announced that nine more trees are being planted at Ocean View Elementary School.

Mayor Ferrara also announced that Arroyo Grande in Bloom activities occur every Saturday morning at 8:00 am and invited members of the public to participate.

15. STAFF COMMUNICATIONS

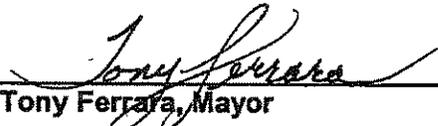
None.

16. COMMUNITY COMMENTS AND SUGGESTIONS

None.

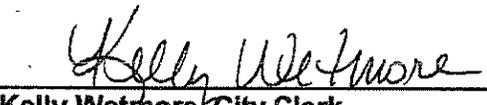
17. ADJOURNMENT

Mayor Ferrara adjourned the meeting at 9:25 p.m.



Tony Ferrara, Mayor

ATTEST:



Kelly Wetmore, City Clerk

(Approved at CC Mtg 12/11/07)

Minutes: ARC
Monday, April 18, 2016

The Committee provided comments regarding ways to reduce the amount of impervious surfaces, making the courtyard more attractive to neighbors, and incorporating more variety in the landscaping plan.

Michael Peachey made a motion, seconded by Mary Hertel, to recommend approval of the project to the Community Development Director with the following conditions:

1. Incorporate additional detailing on roof supports;
2. Maintain consistency of window treatments;
3. Incorporate more density and variety into the landscape plan;
4. Utilize more pervious materials in the motor court;
5. Narrow the driveway to 12' and offset with landscaping at the end of the driveway nearest the street; and
6. Clarify the species name of "Apricot Bush"

The motion passed on a 3-0-2 voice vote, with Bruce Berlin and John Rubatzky absent.

6.b. CONSIDERATION OF VARIANCE 16-001 AND VIEWSHED REVIEW 16-001; CONVERSION OF EXISTING HOME TO SECONDARY DWELLING UNIT AND CONSTRUCTION OF NEW TWO-STORY SINGLE FAMILY HOME, THREE (3) CAR GARAGE, AND FIVE FOOT (5') SOUTH SIDE YARD SETBACK REDUCTION; LOCATION – 190 SOUTH ELM STREET; APPLICANT – DANTE TOMASINI; REPRESENTATIVE – DOUGLAS R. FANER (Anderson)

Planning Intern Anderson presented the project.

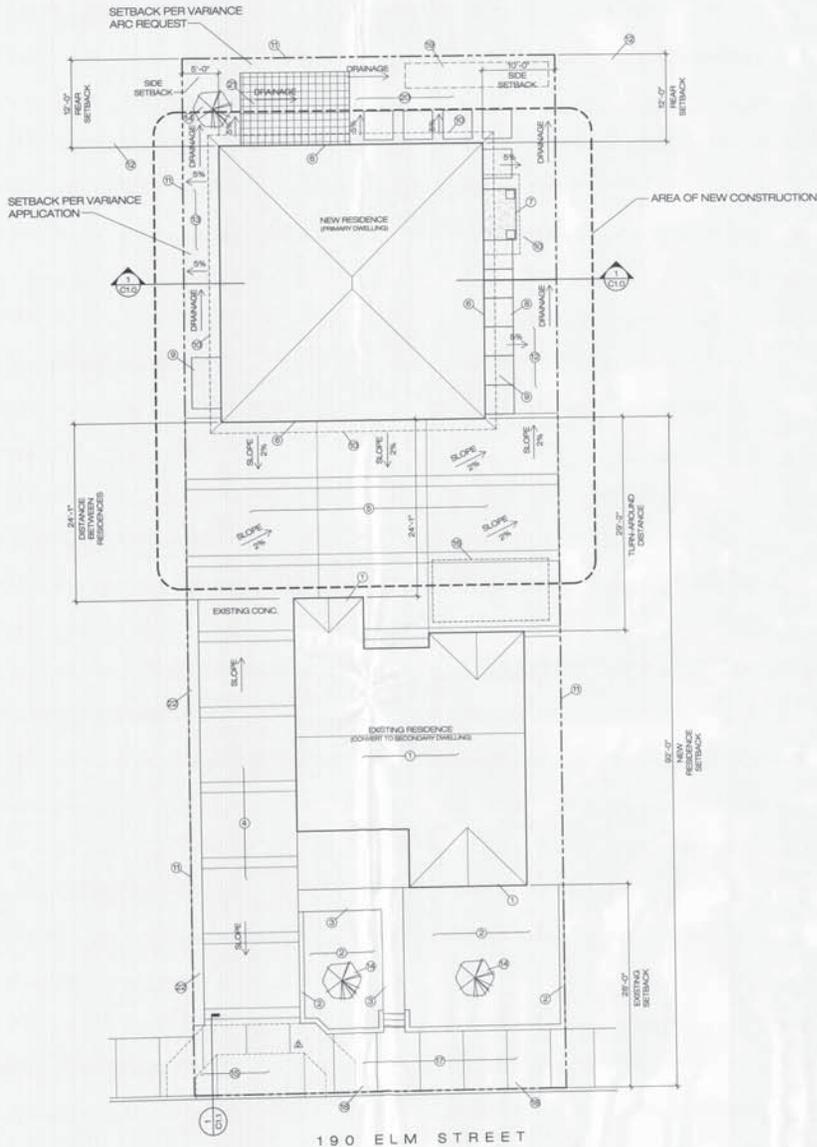
Planning Intern Anderson responded to questions from the Committee regarding whether Viewshed Reviews apply to multi-family residences, the design of the proposed three car garage, and the decision making body on the variance.

Douglas Faner, representative, spoke in support of the project and responded to questions from the Committee.

The Committee provided comments regarding the variance, reducing the size of the driveway in order to incorporate more landscaping along the house, and the preferred color palate.

Mary Hertel made a motion, seconded by Michael Peachey, to recommend approval of the project to the Planning Commission with the following considerations:

1. Shift the new house towards the rear of the lot five feet (5') as long as this does not harm the Oak tree at the rear of the property;
2. Reduce the width of the driveway along the existing house in order to increase landscaping;
3. Investigate eliminating turf from the landscaping plan;
4. Utilize the darker color palate;
5. Paint roof vents to match the color of the roof;



SITE PLAN
SCALE: 1/8"=1'-0"

PROJECT DESCRIPTION

THIS PROJECT IS TO DEMOLISH A NEW RESIDENCE AT THE REAR OF THE PROPERTY, LOCATED AT 190 SOUTH ELM STREET, ARROYO GRANDE, CA 93420, AND APN 007-153-034, LOT SIZE 7,275 SF. THE EXISTING RESIDENCE SITS AT THE FRONT OF THE PROPERTY ON ELM STREET AND IS APPROXIMATELY 1,026 SF. THE EXISTING RESIDENCE WILL BE CONVERTED TO THE SECONDARY DWELLING AND REMAIN UNCHANGED AND THE NEW RESIDENCE WILL BECOME THE PRIMARY RESIDENCE.

THE NEW RESIDENCE EXTERIOR SQUARE FOOTAGE WILL CONSIST OF 1,308 SF. FIRST FLOOR WITH A 1.381 SF. SECOND FLOOR.

THE FIRST FLOOR CONSISTS OF A 3 CAR GARAGE, BEDROOM, LAUNDRY BATH AND ENTRY. SECOND FLOOR CONSISTS OF A GREAT ROOM, THREE BEDROOMS AND TWO BATHROOMS.

THE LOT COVERAGE IS CALCULATED AS FOLLOWS:
BUILDING FOOTPRINTS SF. (NEW & EXISTING) / LOT SF. = COVERAGE %
2,326 SF. / 7,275 SF. = 32%
* THE LOT COVERAGE COMPLES WITH RESIDENTIAL SITE DEVELOPMENT STANDARDS FOR THE CITY OF ARROYO GRANDE.

THE TOTAL LIVING SPACE IS 483 SF. FIRST FLOOR WITH A 1,220 SF. SECOND FLOOR AND THE 954 SF. EXISTING RESIDENCE TOTALING 2,837 SF.

THE FLOOR AREA RATIO (FAR) IS CALCULATED AS FOLLOWS:
LIVING SPACE SF. (NEW & EXISTING) / LOT SF. = FAR
2,837 SF. / 7,275 SF. = 39%

* THE FLOOR AREA RATIO COMPLES WITH RESIDENTIAL SITE DEVELOPMENT STANDARDS FOR THE CITY OF ARROYO GRANDE.

THE NEW RESIDENCE WILL BE CONSTRUCTED WITH WOOD FRAMING, STUCCO EXTERIOR FINISH WITH STONE HALF WALL DETAIL, 606 POST AND STONE COLUMNS AT ENTRY, VINYL DUAL GLAZED WINDOWS AND COMPOSITION TILE FLOORING. THE DESIGN AND FINISHES WILL BE COMPLEMENTARY OF THE SURROUNDING AREAS.

PROJECT DATA

OWNER: DANTE TOMASINI / ANTONY N. TOMASINI
PROJECT ADDRESS: 190 SOUTH ELM STREET, ARROYO GRANDE, CA 93420
SITE SIZE: APPROX. 7,275 SF.
ACCESS / PARCEL NO.: 077-153-034
ZONING: MULTIPLE-FAMILY (MF)
TOTAL NEW RESIDENCE (EXTERIOR): FIRST FLOOR 1,308 SF. W/ GARAGE 1.381 SF. SECOND FLOOR 1.381 SF. TOTAL: 2,889 SF.

REFERENCE NOTES

- EXISTING RESIDENCE TO REMAIN. (CONVERT TO SECONDARY DWELLING)
- EXISTING GARDEN WALLS AND YARD AT FRONT TO REMAIN.
- EXISTING CONCRETE WALK TO REMAIN.
- NEW DRIVEWAY. EXISTING CONCRETE DRIVEWAY TO BE REPLACED.
- NEW DRIVEWAY 24'-1" TURNAROUND FOR 3 CAR GARAGE.
- NEW PRIMARY RESIDENCE BUILDING FOOTPRINT.
- CONCRETE PORCH AT FRONT ENTRANCE.
- CONCRETE SIDEWALK TO FRONT PORCH.
- CONCRETE LANDING AT GARAGE MAIN DOORS.
- ROOF OVERHANG.
- PROPERTY LINE.
- SETBACKS PER RESIDENTIAL SITE DEVELOPMENT STANDARDS.
- SOUTH SIDE 5' SETBACK PER VARIANCE APPLICATION.
- EXISTING TREES TO REMAIN.
- NEW ADA DRIVEWAY APPROACH. SEE DETAIL 1/011
- DASHED LINE INDICATES NEW UNCOVERED PARKING SPACE.
- EXISTING SIDEWALK AT STREET TO BE REPAIRED OR CRACKS.
- FILL IN EXISTING LANDSCAPE STRIP WITH CONCRETE SIDEWALK.
- PROPOSED AREA OF ON SITE DRAINAGE SYSTEM, BY SOILS COMPANY BY OWNER.
- SETBACKS PER ARCH REVIEW 04/18/2016.
- GRADE LEVEL PATIO W/ PERVIOUS MATERIAL, PAVERS.
- 18" STRIP OF SUSTAINABLE LOW MAINTENANCE.

DRAINAGE PLAN NOTES

GENERAL DRAINAGE SHOWN ON SITE PLAN. A DETAILED DRAINAGE PLAN WILL BE SUBMITTED FROM SOILS CO. BY OWNER DURING CONSTRUCTION DOCUMENT PROCESS. DRAINAGE PLAN WILL SHOW THE LOCATION AND SEVERITY OF THE 100 YEAR FLOODPLAN, AND HOW THAT WATER WILL BE DEALT WITH EITHER ON SITE WITH INFILTRATION RATES OR THROUGH A PUMP SYSTEM.

VICINITY MAP



GENERAL NOTES

CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL REPORT ANY CONFLICT OR INCONSISTENCIES FROM SUBCONTRACTORS TO THE DESIGNER.

TO PROMOTE CLEAR COMMUNICATIONS IN THE FIELD, ALL QUESTIONS AND CLARIFICATIONS SHALL BE SUBMITTED IN WRITING TO THE DESIGNER.

LOCATION OF UTILITIES AS SHOWN IN DRAWINGS IS BASED ON RECORD DRAWINGS. THE CONTRACTORS SHALL FIELD VERIFY THE LOCATION OF THESE UTILITIES.

ANY PERIODIC VISITS TO THE JOB SITE BY THE DESIGNER ARE FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THE TECHNICAL AND AESTHETIC PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND IN NO WAY A GUARANTEE OF INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE METHODS OR APPLIANCES USED BY THE CONTRACTOR NOR THE SAFETY OF THE JOB OR COMPLIANCE WITH THE LAWS AND REGULATIONS.

DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.

WHERE NO DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR ANY OTHER SIMILAR WORK OR AS DIRECTED BY THE GENERAL CONTRACTOR.

ALL WORK UNDER ALL SECTIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE HIGHEST STANDARDS OF PRACTICES RELATED TO THE TRADES INVOLVED AND SHALL BE COMPLETED AND PROPERLY COORDINATED WITH ALL WORK ADJACENT OR RELATED TO IT.

THE OWNER SHALL PAY FOR BUILDING AND OTHER PERMITS. THE CONTRACTOR SHALL OBTAIN BUILDING AND OTHER PERMITS FROM THE LOCAL JURISDICTION.

IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS THAT THE WORK DESCRIBED IS FOR A COMPLETE JOB. ALL COORDINATION, FEES, LABOR, MATERIALS, TOOLS, CONNECTIONS, EQUIPMENT, CLEANUP REQUIRED TO FULLY FINISH THE DESCRIBED PROJECT SHALL BE FURNISHED AND PAID FOR BY THE CONTRACTOR OR OWNER. ANY AND ALL EXCEPTIONS SHALL BE REQUESTED AND AGREED TO IN WRITING AT THE TIME OF THE BIDDING OF THE OWNER/CONTRACTOR AGREEMENT.

FINISH GRADE SHALL SLOPE AWAY FROM BUILDING 2% FOR A MINIMUM OF 3 FEET.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE PVC SLEEVES AND CHASERS BENEATH PAVING AND CONCRETE SITE WORK TO ALL AREAS FOR INSTALLATION OF UTILITY LINES.

IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS THAT THE NEW CONSTRUCTION OF THIS PROJECT WHEN COMPLETED SHALL CONFORM TO THE CURRENT REGULATIONS AND CALIFORNIA BUILDING CODES AS SPECIFIED UNDER "APPLICABLE CODES" AT THE TIME OF THE FINAL PLAN CHECK.

WORK IN PURRED AREAS SHALL NOT BE CONCEALED UNTIL SUCH WORK HAS BEEN INSPECTED AND APPROVED BY THE INSPECTING AUTHORITIES. IF SUCH AREAS ARE CONCEALED PRIOR TO INSPECTION AND APPROVAL, THE CONTRACTOR IS FINANCIALLY RESPONSIBLE FOR ALL WORK REQUIRED TO OPEN AND RESTORE CONCEALED AREAS.

APPLICABLE CODES

- 2013 CALIFORNIA BUILDING CODE (CBC) 2012 INTERNATIONAL BUILDING CODE (IBC)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2011 NATIONAL ELECTRICAL CODE (NEC)
- 2013 CALIFORNIA MECHANICAL CODE (CMC) 2012 UNIFORM MECHANICAL CODE (UMC)
- 2013 CALIFORNIA PLUMBING CODE (CPC) 2012 UNIFORM PLUMBING CODE (UPC)
- 2013 CALIFORNIA GREEN BUILDING CODES
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

SHEET INDEX

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MULTIPLE FAMILY (MF)

190 SOUTH ELM STREET
ARROYO GRANDE CA 93420

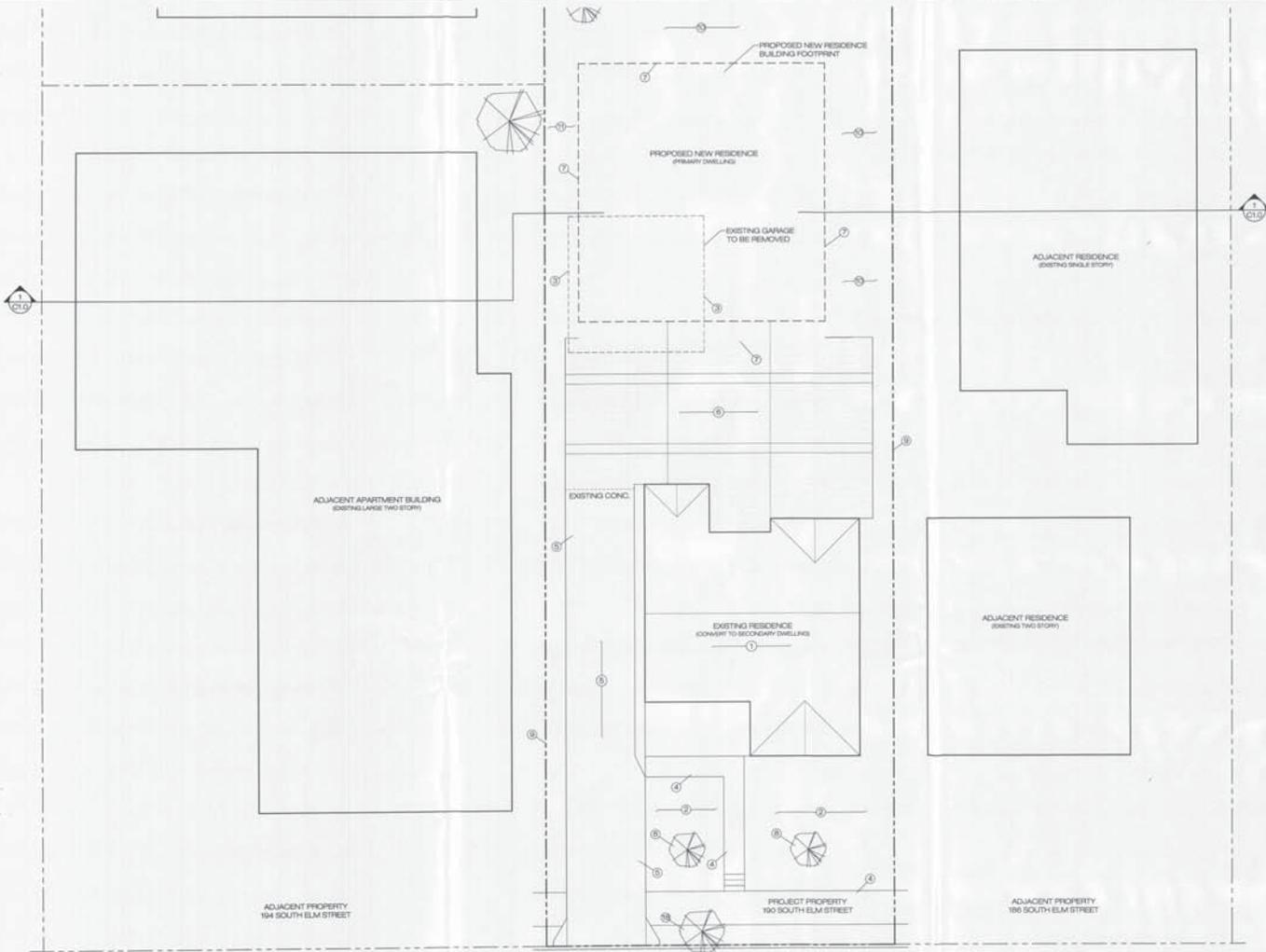
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TITLE SHEET
SITE PLAN

T1.0



STREET VIEW OF 190 SOUTH ELM



AERIAL VIEW OF 190 SOUTH ELM

1. EXISTING RESIDENCE TO REMAIN, CONVERT TO SECONDARY DWELLING.
2. EXISTING GARDEN WALLS AT FRONT TO REMAIN.
3. EXISTING GARAGE TO BE REMOVED.
4. EXISTING CONCRETE WALKS TO REMAIN AND BE REPAIRED.
5. EXISTING CONCRETE DRIVEWAY TO BE REMOVED AND REPLACED.
6. NEW DRIVEWAY TURNAROUND FOR 3 CAR GARAGE.
7. PROPOSED NEW PRIMARY RESIDENCE.
8. EXISTING TREES TO REMAIN.
9. PROPERTY LINE.
10. SETBACKS PER RESIDENTIAL SITE DEVELOPMENT STANDARDS, SEE SITE PLAN.
11. SOUTH SIDE 5' SETBACK PER VARIANCE APPLICATION.
12. SECTION OUTLINE OF PROPOSED NEW RESIDENCE.
13. SECTION OUTLINE OF EXISTING RESIDENCE AT FRONT OF PROPERTY, 190 ELM STREET.
14. SECTION OUTLINE OF ADJACENT APARTMENT BUILDING, 194 ELM STREET.
15. SECTION OUTLINE OF ADJACENT RESIDENCE, 186 ELM STREET.
16. SECTION OUTLINE OF EXISTING RESIDENCE AT FRONT OF PROPERTY, 186 ELM STREET.
17. EXISTING FENCES TO REMAIN.
18. EXISTING TREE AT CURB TO BE REMOVED TO ACCOMMODATE ADA DRIVEWAY.

REFERENCE NOTES



EXISTING TREES



PROPERTY LINES



EXISTING GARAGE TO BE REMOVED



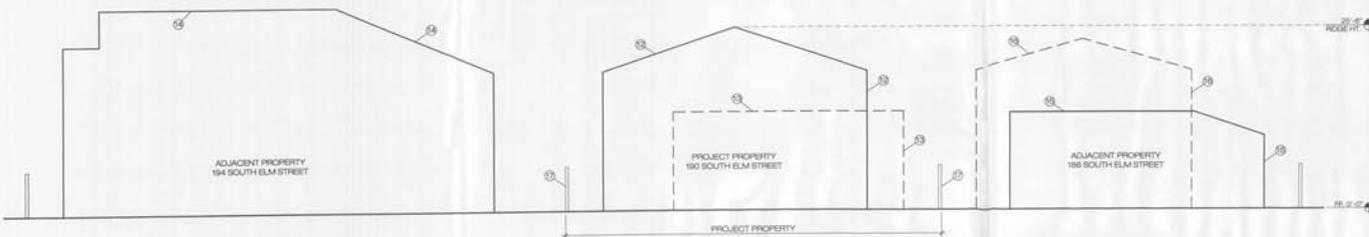
PROPOSED NEW PRIMARY RESIDENCE



SHADED AREAS REPRESENT NEW AC DRIVEWAY / TURNAROUND

SITE LEGEND:

EXISTING AND ADJACENT SITE PLANS
SCALE 1/8"=1'-0"



1 SITE SECTION OF EXISTING AND ADJACENT PROPERTIES
SCALE 1/8"=1'-0"



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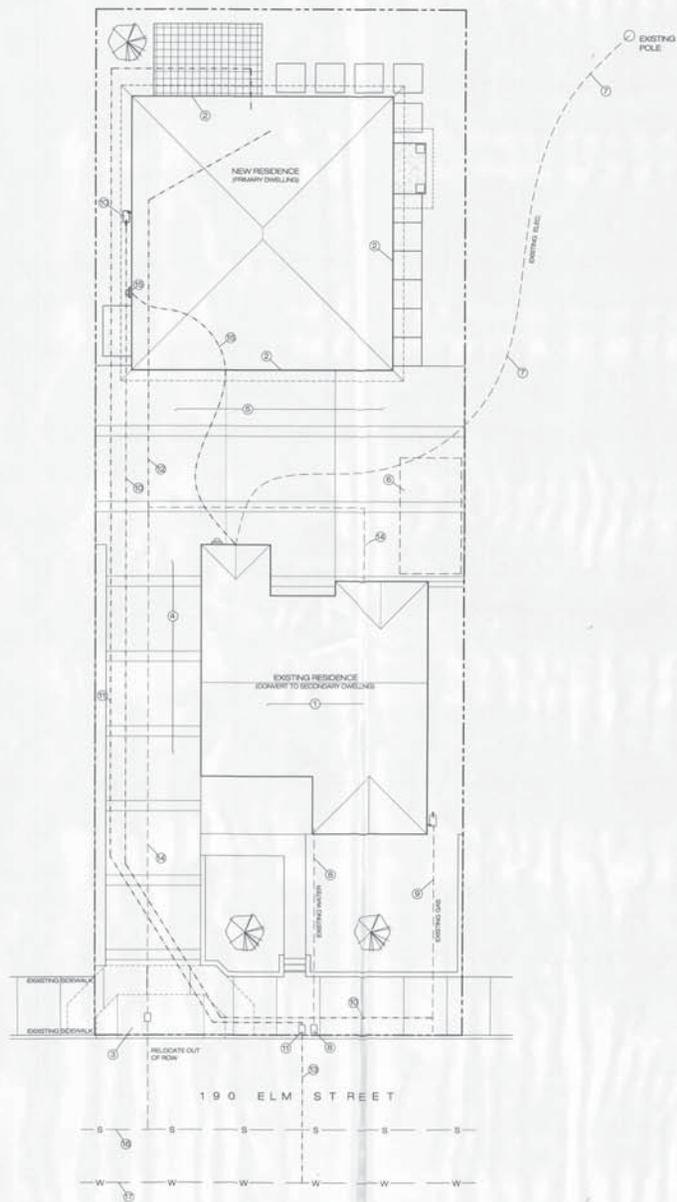
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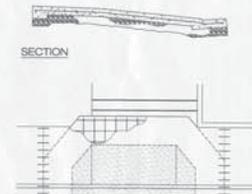
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EXISTING
SITE PLAN
AND
SITE SECTIONS

C1.0



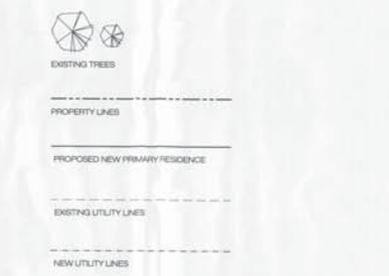
- ▲ **WATER SPRINKLER NOTE**
NEW STRUCTURE MUST BE WATER-SPRINKLED, WHICH WILL REQUIRE A LARGER METER.
- ▲ **SEWER BACK FLOW DEVICE NOTE**
A BACK FLOW DEVICE WILL BE NECESSARY ON THE NEW SEWER LINE TO THE NEW STRUCTURE.
- ▲ **EXISTING AND NEW UTILITIES NOTE**
ALL EXISTING AND NEW UTILITIES TO BE RUN UNDERGROUND, COORDINATE WITH APPROPRIATE UTILITY COMPANIES.



▲ **1 ADA DRIVEWAY APPROACH DETAIL**

1. EXISTING RESIDENCE TO REMAIN.
2. PROPOSED NEW PRIMARY RESIDENCE BUILDING FOOTPRINT.
- ▲▲▲ 3. NEW ADA DRIVEWAY APPROACH.
4. NEW CONCRETE DRIVEWAY.
- ▲ 5. NEW TURN-AROUND AREA FOR NEW GARAGES.
6. NEW UNCOVERED PARKING SPACE.
- ▲▲ 7. EXISTING OVERHEAD UTILITIES TO BE RUN UNDERGROUND. COORDINATE WITH APPROPRIATE UTILITY COMPANY.
- ▲▲ 8. EXISTING WATERLINE, UNDERGROUND.
- ▲ 9. EXISTING GAS LINE, UNDERGROUND.
- ▲ 10. NEW GAS LINE AND METER.
- ▲ 11. NEW WATERLINE AND METER.
- ▲ 12. NEW SEWER LINE TO BE CONNECTED WITH EXISTING.
- ▲ 13. PROVIDE NEW 1" WATER SERVICE FROM MAIN TO METER BOX.
14. EXISTING SEWER LINE.
15. PROVIDE NEW ELECTRICAL LINE AND METER AT SIDE OF GARAGE.
16. EXISTING NEW ELECTRICAL LINE IN STREET TE-IN.
17. EXISTING WATER LINE IN STREET TE-IN.

REFERENCE NOTES



SITE LEGEND:

ZC **UTILITY PLAN**
SCALE 1/8"=1'-0"

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NEW RESIDENCE
MULTIPLE FAMILY (MF)

190 SOUTH ELM STREET
ARROYO GRANDE CA 93420

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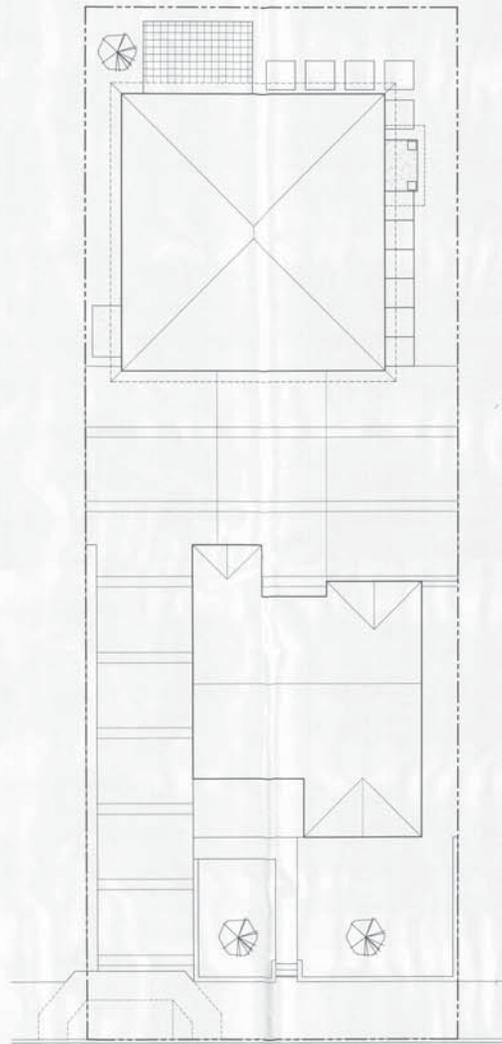
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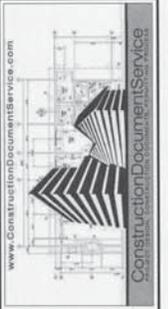
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**UTILITY PLAN
DRIVEWAY
DETAIL**

C1.1




LANDSCAPE PLAN
 SCALE: 1/8"=1'-0"



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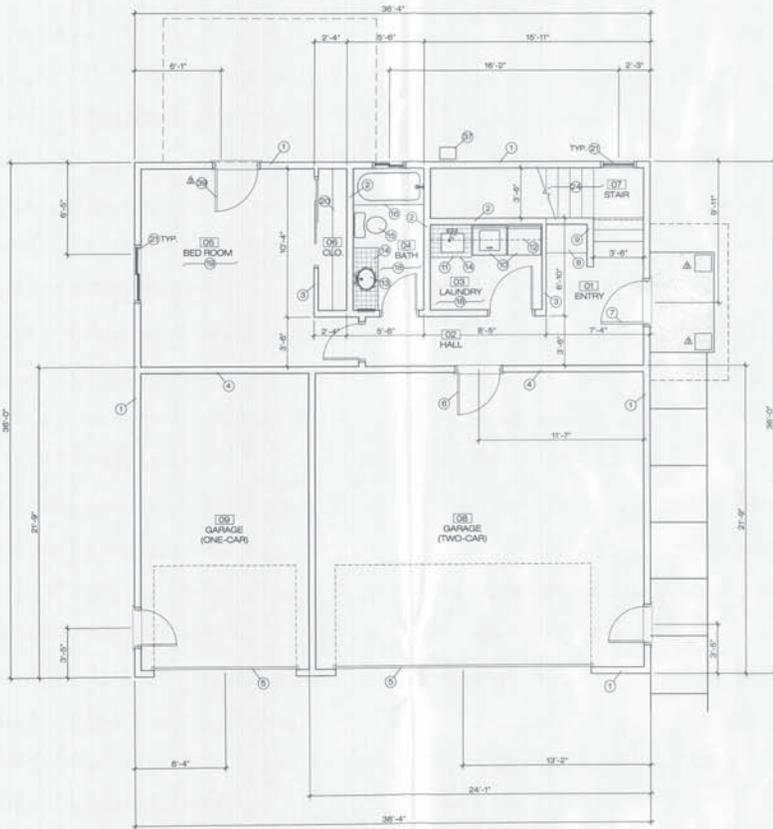
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 ARROYO GRANDE CA 93420

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LANDSCAPE PLAN

C1.2

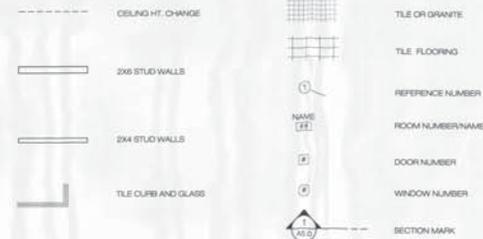


ZL FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

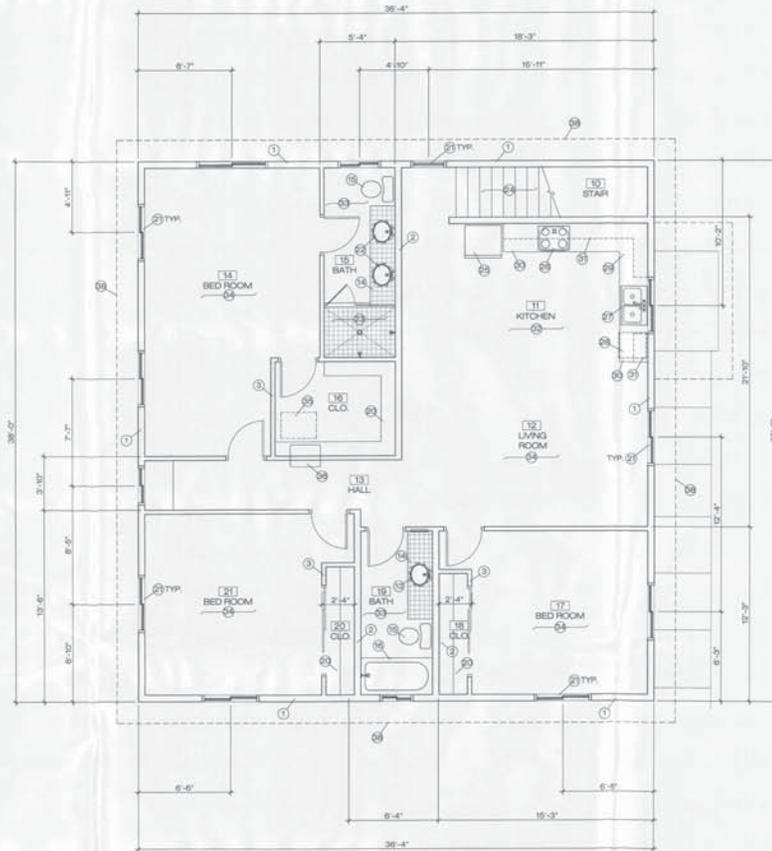
1. ALL EXTERIOR AND LOAD BEARING WALLS 2X6 DF. STUDS @ 16" O.C.
2. WALLS WITH PLUMBING 2X6 DF. STUDS @ 16" O.C.
3. INTERIOR WALLS, NON-LOAD BEARING, 2X4 DF. STUDS @ 16" O.C.
4. INTERIOR GARAGE WALL, (GARAGE TO HOUSE), 2X6 DF. STUDS @ 16" O.C. 5/8" TYPE X GYPSUM BOARD BOTH SIDES.
5. ALUMINUM ROLL-UP GARAGE DOORS AS SPECIFIED PER SCHEDULE.
6. GARAGE DOOR ENTRY TO HOUSE PER SCHEDULE.
7. SOLID CORE PANEL FRONT DOOR PER SCHEDULE.
8. 36" HT. WOOD CABINET AT ENTRY.
9. WOOD CAPPED SLOPED HALF WALL AT STAIR TERMINATION.
10. WASHER DRYER AT LAUNDRY ROOM.
11. WOOD CABINET WITH UTILITY SINK.
12. EXTENT OF UPPER CABINET.
13. WOOD CABINET WITH SINGLE SINK.

14. TILE/SOLID SURFACE COUNTERTOP.
15. CHINA CERAMIC TOILET.
16. STANDARD CERAMIC TUB-SHOWER.
17. INTERIOR WOOD DOORS PER SCHEDULE.
18. LINOLEUM TILE FLOORING.
19. CARPET.
20. CLOSET SHELF AND POLE.
21. WINDOWS PER SCHEDULE.
22. WOOD CABINET WITH DOUBLE SINK AT MASTER BATH.
23. CUSTOM FULL HEIGHT TILE SHOWER.
24. WOOD FRAMED STAIRS.
25. REFRIGERATOR.
26. GAS 4 BURNER STOVE TOP WITH OVEN.
27. KITCHEN CERAMIC SINK CENTERED AT WINDOW.

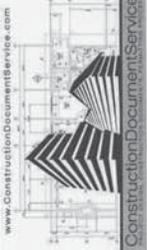
28. DISHWASHER.
29. SOLID SURFACE/TILE COUNTER TOPS AT KITCHEN.
30. EXTENT OF LOWER CABINETS.
31. EXTENT OF UPPER CABINETS.
32. TILE FLOORING AT KITCHEN.
33. TILE VINYL FLOORING AT BATHS.
34. CARPET FLOORING.
35. 30"x32" MIN. ATTIC ACCESS.
36. GAS FRED FORCED AIR UNIT (F.A.U.) IN ATTIC, SEE UTILITY PLAN.
37. ON-DEMAND GAS FRED WATER HEATER, SEE UTILITY PLAN.
38. LINE OF ROOF OVERHANG.
39. FULL-LITE DOOR PER A/C 04/16/2016.
40. 6X6 DF. WOOD COLUMNS WITH 1/2 HT. STONE VENEER DETAIL.



SHEET LEGEND



ZL SECOND FLOOR PLAN
SCALE 1/4"=1'-0"



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MULTIPLE FAMILY (MF)
190 SOUTH ELM STREET
ARROYO GRANDE, CA 93420

Revisions:
A Per City of Arroyo Grande
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Staff Advisory 02/10/2016
Engineering and Pub. Works
02/13/2016
B Per City of Arroyo Grande
Staff Advisory 04/17/2016
C Per Architectural Review
04/18/2016

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FLOOR
PLAN

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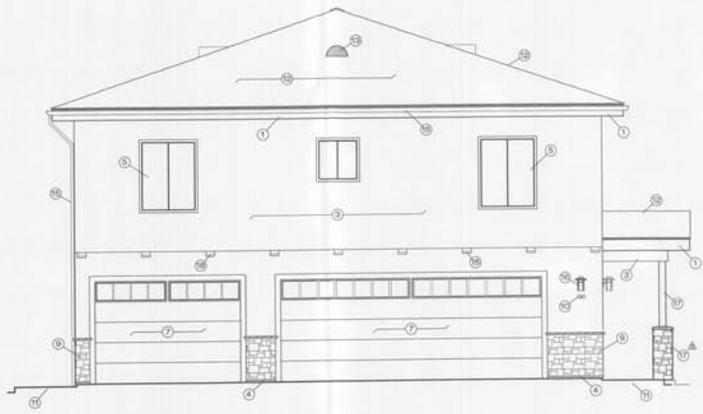
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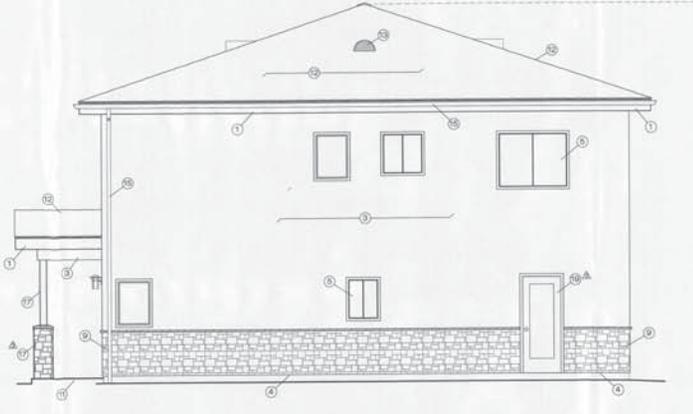
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ELEVATIONS

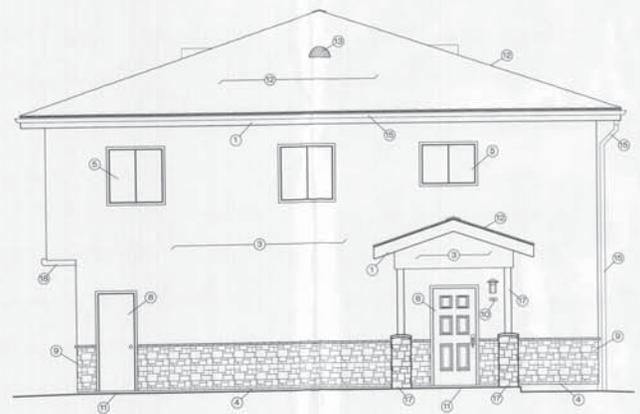
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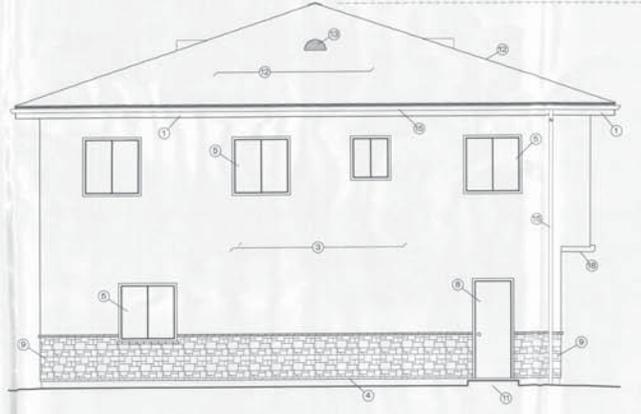
EAST ELEVATION
 SCALE 1/4"=1'-0"



WEST ELEVATION
 SCALE 1/4"=1'-0"



NORTH ELEVATION
 SCALE 1/4"=1'-0"



SOUTH ELEVATION
 SCALE 1/4"=1'-0"

- | | |
|--|--|
| <ol style="list-style-type: none"> 1. 2X10 FASCI, SEE ARCHITECTURAL DETAIL. 2. WOOD EAVES WITH STARTER BOARDS. 3. 7/8" STUCCO FINISH W/COLOR COAT. 4. GALVANIZED WEEP SCREED WITH 3 1/2" ATTACHMENT FLANGE AND SHALL BE PLACED AT OR BELOW BOTTOM PLATE AND 4" MIN. FROM EARTH OR 2" MIN. FROM CONCRETE. 5. DUAL GLAZED WINDOWS, PER WINDOW SCHEDULE. 6. WOOD SOLID CORE PANELED FRONT DOOR. 7. ROLL-UP GARAGE DOOR. 8. WOOD SOLID CORE MAN DOORS AT GARAGES. 9. STONE VENEER AND CAP. 10. ADDRESS NUMBERS PLAINLY VISIBLE FROM STREET, 4" HEIGHT AND 1/2" STROKE WIDTH. | <ol style="list-style-type: none"> 11. 4" CONCRETE DECKS OVER SAND BASE W/ #3 BARS EACH WAY @ 18" O.C. AT PATIOS/POUCHES/STOOPS. 12. COMPOSITION ROOFING, OVER 30 LB. FELT. 13. GALVANIZED DORMER VENTS. 14. UNDER EAVE BLOCK HOLE VENT. 15. GUTTER AND DOWNSPOUT, DRAINAGE TO UNDERGROUND. 16. EXTERIOR WALL MOUNTED LIGHTS. 17. 6X8 DF. WOOD COLLARS WITH 1/2" HT. STONE VENEER DETAIL. 18. 6X8 BEAMS AT CANTILEVER. 19. FULL-LITE EXTERIOR DOOR PER AISC 04/18/2016. |
|--|--|

REFERENCE NOTES



SHEET LEGEND



MEMORANDUM

TO: PLANNING COMMISSION

FROM: TERESA MCCLISH, COMMUNITY DEVELOPMENT DIRECTOR

**BY: MATTHEW DOWNING, PLANNING MANAGER
MATT HORN, CITY ENGINEER**

SUBJECT: CONSIDERATION OF STAFF PROJECT NO. 16-003; EAST BRANCH STREET STREETSCLAPING ALTERNATIVES; LOCATION – EAST BRANCH STREET BETWEEN MASON STREET AND PAULDING CIRCLE; APPLICANT – CITY OF ARROYO GRANDE

DATE: JULY 19, 2016

RECOMMENDATION:

It is recommended that the Planning Commission review the project alternatives for the East Branch Streetscaping project and advise the City Council on a preferred alternative.

IMPACT ON FINANCIAL AND PERSONNEL RESOURCES:

The East Branch Streetscaping project is funded by a Regional State Highway Account Congestion (RSHA) grant and some City Sales Tax Funds as follows:

East Branch Streetscaping Project Funding Table						
	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	Total
Sales Tax Fund	\$ 70,000	\$ 97,600	-	-	-	\$ 167,600
RSHA	-	\$ 390,400	-	-	-	\$ 390,400
Total	\$ 70,000	\$ 488,000	-	-	-	\$ 558,000

BACKGROUND:

This segment of the East Branch Streetscaping project is considered “Phase 2” of the previous Village streetscaping work that was completed on East Branch Street between Bridge Street and Mason Street. This project will continue the Village amenities installed by “Phase 1” on East Branch Street between North Mason Street and Paulding Circle.

The City successfully competed and obtained grants funds administered by the San Luis Council of Governments (SLOCOG) with some grant matching funds provided by the Sales Tax Fund.

PLANNING COMMISSION
CONSIDERATION OF STAFF PROJECT NO. 16-003
JULY 19, 2016
PAGE 2

On August 13, 2015 the City solicited proposals from the on-call civil engineering consultants for the design and construction document preparation of the project. Omni-Means was selected to complete this work and on September 14, 2015, the City entered into a Contract with Omni-Means to complete the work.

A stakeholder group was established consisting of local business owners and a member from each of the City's advisory Boards and Commissions. Commissioner Fowler-Payne is the Planning Commission's member in the stakeholder group. Several Stakeholder meetings were held to review and advise on the project development, including meetings held on:

- November 19, 2015;
- January 14, 2016;
- April 5, 2016; and
- May 13, 2016

Two conceptual plans were developed based upon project area observations and feedback from the stakeholders, with Alternative 1 (See Attachment 1 - Figure A-1) representing maximizing Class II bicycle lanes and Alternative 2 (See Attachment 1 - Figure A-2) which retains as much existing on-street parking as is practical. Both alternatives include lane narrowing, bulb outs, street trees, and implementation of an enhanced marked pedestrian crosswalk on East Branch Street at Le Point Terrace. After review and consideration, the stakeholders group recommended Alternative 2 for approval, as it provides a better balance of competing needs.

Staff Advisory Committee

The Staff Advisory Committee (SAC) was consulted during development and refinement of the alternatives. The SAC made suggestions regarding the use of bulbouts as drainage features, making the pedestrian crosswalk an area of refuge but not an area of congregation, and limiting the eastern extension of the crosswalk to not limit westbound left turns by emergency vehicles from the Paulding Circle exit. The SAC voted to recommend approval of Alternative 2.

Architectural Review Committee

The Architectural Review Committee (ARC) reviewed the project on May 2, 2016 (Attachment 2). Members of the ARC discussed on street parking for both alternatives, fence design, and sidewalk pavers. The ARC made a recommendation to approve Alternative 2 with some specific design considerations and landscape modifications for landscaped areas.

Traffic Commission

The Traffic Commission (TC) reviewed the project on May 23, 2016 and June 20, 2016. Members of the TC discussed the competing needs of bicycles and vehicles and compliance of the project with the Bicycle and Trails Master Plan. The TC

**PLANNING COMMISSION
CONSIDERATION OF STAFF PROJECT NO. 16-003
JULY 19, 2016
PAGE 3**

recommended approval of Alternative 2 with modifications to the number of bulb outs included in the plan (Attachment 3).

ANALYSIS OF ISSUES:

Existing Conditions

East Branch Street, from Mason Street to approximately Crown Hill Street, is part of the City's core Village area, but does not contain many of the streetscape elements that exist in the western portion of the Village.

East Branch Street between Mason Street and Le Point Terrace is comprised of two travel lanes, one lane traveling eastbound and one lane traveling westbound, with one two way left hand turn lane. Parking is generally provided on both sides of the road. Sidewalk is available on both sides of the road. Shared bicycle facilities are generally provided without any roadway markings.



Display Showing Area of Work

General Plan

The General Plan is the foundation development policy document of the City of Arroyo Grande. It defines the framework by which the physical, economic and human resources of the City are to be managed and utilized over time. The General Plan designates the subject corridor for Village Core and Village Mixed Use land uses. The two (2) alternatives for the project have been developed while striving to provide consistency with the General Plan. The project meets and is consistent with a number of Goals, Policies, and Implementation Measures of the General Plan, including LU5-3, LU5-11, LU5-11.5, LU12-7, LU12-7.1, LU12-7.6, LU12-7.6 and LU12-8 of the Land Use

PLANNING COMMISSION
CONSIDERATION OF STAFF PROJECT NO. 16-003
JULY 19, 2016
PAGE 4

Element, ED5-4 and ED5-1.2 of the Economic Development Element, and CT3-3, CT3-3.2, CT4, CT4-2, and CT5 of the Circulation Element, which state:

LU5-3: Ensure that all projects developed in the MU areas include appropriate site planning and urban design amenities to encourage travel by walking, bicycling and public transit.

LU5-11: Promote a mixture of residential and commercial uses along Mixed Use corridors including substantial landscaping and streetscape improvements.

LU5-11.5: Develop phased implementation programs for streetscape improvement along Mixed Use Corridors, including financing strategies, which provide for elements such as landscape, street furniture, signage and pedestrian-scaled lighting.

LU12-7: Enhance pedestrian level activity within residential and commercial areas.

LU12-7.1: Utilize “street furniture” (planters, benches, drinking fountains, newspaper racks, bike racks, trash receptacles) to create and enhance urban open spaces within commercial areas and to emphasize historical and rural architectural themes.

LU12-7.6: Refine the Circulation Element to include an integrated pedestrian circulation network linking the Village Core and Mixed-Use areas, schools, shopping, community facilities, and multiple family residential areas.

LU12-8: Emphasize the incorporation of landscape themes and extensive landscaped areas into new development; provide landscaping and open space as an integral part of project design to enhance building design, public views, and interior spaces; provide buffers and transitions as needed; and facilitate energy conservation.

ED5-4: Expand and enhance the Village Core as a focal point for civic and tourist activities.

ED5-1.2: Implement comprehensive design guidelines pertaining to both public and private improvements, including, but not limited to, building façade restoration, landscaping, street furniture installation, undergrounding of utilities, historic district character, and the development of parking facilities.

CT3-3: Promote non-motorized bike and pedestrian circulation facilities to serve all areas of the City and linking with regional systems, with priority coordination with school, park, transit and major public facilities.

CT3-3.2: Plan and prioritize Village Core and E. Grand Avenue Mixed Use corridor improvements.

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CT4: Ensure compatibility and complementary relationships between the circulation/transportation system and existing and planned land uses, promoting environmental objectives such as safe and un-congested neighborhoods, energy conservation, reduction of air and noise pollution, transit, bike and pedestrian friendly characteristics.

CT4-2: Utilize the circulation system as a positive element of community design, including street trees and landscaped parkways and medians, special streetscape features in Mixed Use corridors and Village Core, undergrounding of utilities, particularly along major streets.

CT5: Coordinate circulation and transportation planning and funding of collector and arterial street and highway improvements with other local, County, SLOCOG, State and federal agencies. Request County contribution to major street improvement projects.

Benefits of Streetscaping

Streetscaping improvements help local business and enhance the area's economic viability, attractiveness, and environmental health. Streetscaping improvements provide for tangible benefits and include:

- Reduced energy costs for consumers;
- Increased property value of homes and businesses;
- Reduced traffic congestion by providing access to alternative modes of transportation;
- Increased water quality by facilitating natural storm water filtration;
- Encourage healthier, active lifestyles; and
- Reduced air pollution by sequestering harmful carbon emissions.

Attractive and inviting streetscapes provide a safe built environment for pedestrians and helps spur local economic activity. Increased walkability can help revitalize a downtown, increase private investment, and support the development of a good business climate. Examples of this revitalization can be observed within the Phase 1 work area that was completed. The extension of streetscape and Village amenities will help enhance the communities downtown district.

Complete Streets

A decade ago the term Complete Streets was created. The term defines an approach that requires streets to be planned, designed, operated, and maintained to enable safe, convenient and comfortable travel and access for users of all ages and abilities regardless of their mode of transportation. Complete Streets allow for safe travel by those walking, bicycling, driving automobiles and riding public transportation. Complete Streets are promoted as offering improved safety, health, economic, and environmental outcomes. Complete Streets emphasizes the importance of safe access for all users, not just automobiles.

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Currently, United States Code, Title 23, Chapter 2, Section 217 (23 USC 217), mandates that:

"bicycle transportation facilities and pedestrian walkways shall be considered, where appropriate, in conjunction with all new construction and reconstruction of transportation facilities, except where bicycle and pedestrian use are not permitted."

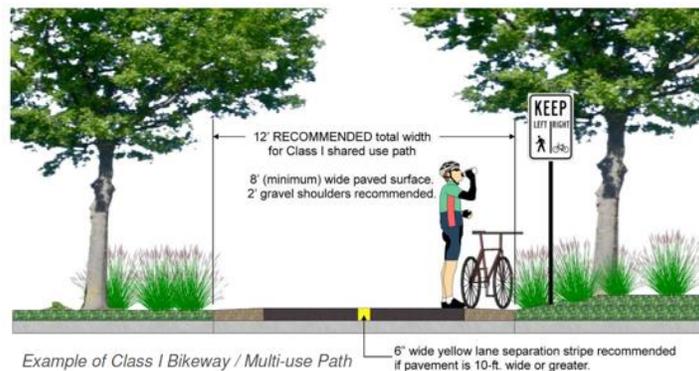
Additionally, the Highway Design Manual Section 1000.1 states:

"The needs of non motorized transportation are an essential part of all highway projects. Mobility for all travel modes is recognized as an integral element of the transportation system."

California Assembly Bill 1358 (Chapter 657, Statutes 2008) is known as the Complete Streets Bill. Effective in 2011, the bill requires revisions to a County or City's Circulation Element to include provisions for the accommodation of all roadway users including bicyclists and pedestrians. Accommodations include bikeways, sidewalks, crosswalks, and curb extensions.

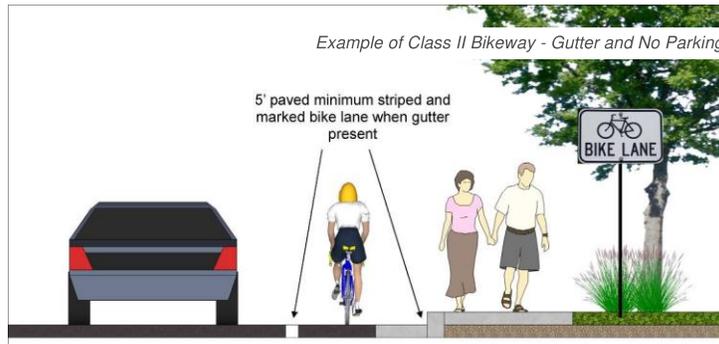
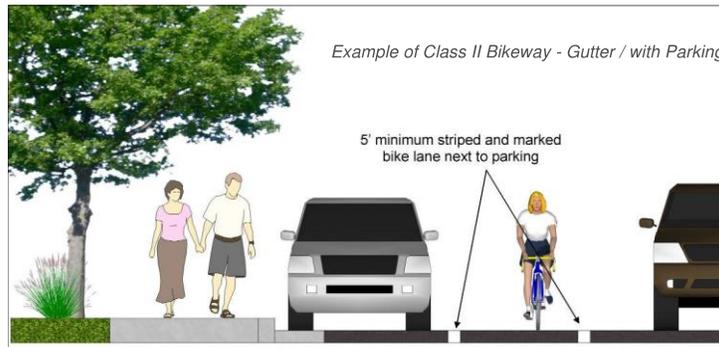
In response to bicycle needs, the City completed the Bicycle and Trails Master Plan in 2012. Bicycle facilities are classified as either:

- a. Class 1: Provides a completely separated right-of-way designated for the exclusive use of bicycles and pedestrians with minimized cross-flows by motorists. Class 1 shown below.



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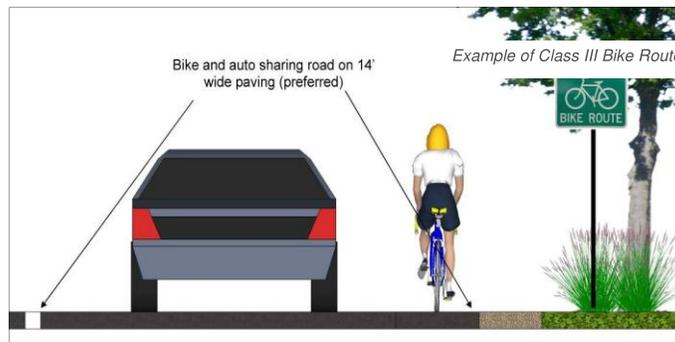
- b. Class 2: Provides a restricted right-of-way designated for the exclusive or semi- exclusive use of bicycles with through travel by motor vehicles or pedestrians prohibited, but with vehicle parking and cross-flows by pedestrians and motorists permitted. For example, a marked lane for one-way bicycle travel on a street or highway. Class 2 shown below.



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- c. Class 3: Provides a right-of-way designated by signs or permanent markings and shared with pedestrians or motorists. Non-motorized Traffic – Bicycle and pedestrian components of traffic. Class 3 shown below.

See CAMUTCD for marking and signing standards.



- d. Class 4: Assembly Bill 1193 (Chapter 495, Statutes 2014), approved by the Governor on September 20, 2014, introduced the Class 4 bicycle facility. These facilities are on-street two-way bicycle facilities that are separated from vehicles by a physical barrier. These facilities are commonly referred to as cycle tracks and the Assembly Bill requires Caltrans to release new design guidelines by January 1, 2016. Class 4 shown below.



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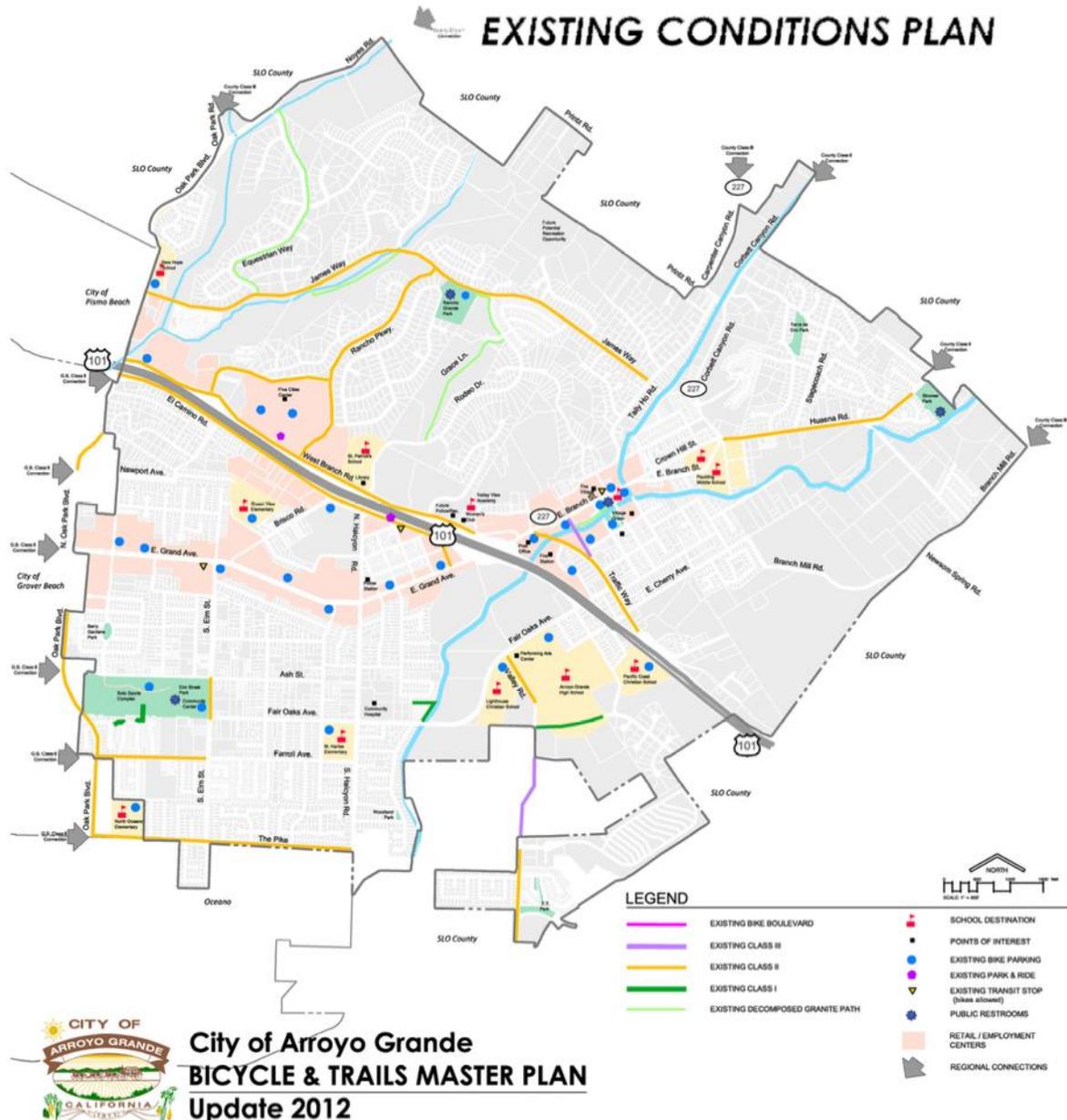
- e. Shared: A roadway that permits bicycle use but is not officially designated as a bikeway. Shared roadway shown below.



As shown in the 2012 adopted Bicycle and Trails Master Plan, the City has many opportunities to install new bicycle facilities on existing roadways.

Area Left Intentionally Blank

2.0 Existing Conditions



See Appendix F for a larger image of this exhibit

Figure 3: Existing Bicycle and Trail Facilities

Bicycle and Trails Master Plan

The Bicycle and Trails Master Plan identifies this area for future improvement. This plan shows that East Branch Street from Le Point Terrace to Traffic Way is planned for Class 3 bicycle facilities. Based on the approval of this document, the City has determined that Class 3 bike lanes should be installed in the future at a policy level.

PRIORITY 2: East Branch St. from Traffic Way to Le Point Terrace Road

Existing Condition Overview / Need

East Branch Street is a main thoroughfare through the Village Area and it is on the main east - west connector (SR 227). The roadway is narrow through the Village Area with a section that consists of two traffic lanes, a central turn / loading lane and parking on both sides. Delivery trucks often "double park" in the street to unload goods. This route is heavily traveled by motor vehicles, bicyclists (including club rides) and pedestrians. There are currently no markings or signage identifying this as a bike route.

Proposed Bikeway Type: Class III Bicycle Boulevard

Given the restricted pavement opportunity, this route can not be formalized as a Class II Bike Lane. In an effort to provide better awareness to motorists that bicycles may be present, special markings and signage are proposed to remind motorists to share the road.

Improvements

- Bicycle Boulevard signs
- Share the Road signs
- Sharrow markings on roadway

Cost Estimate

\$3,000



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Parking

Within the project area 55 on-street parking spaces are currently available. Some of these parking spaces are considered non-standard since they interfere with driveway vision triangles. Alternative 1 has the largest impact to on-street parking spaces reducing the available number of spaces to 28. Alternative 2 retains more of the existing on-street parking spaces with a total proposed at 48. Below is a summary of parking space distribution in the project site.

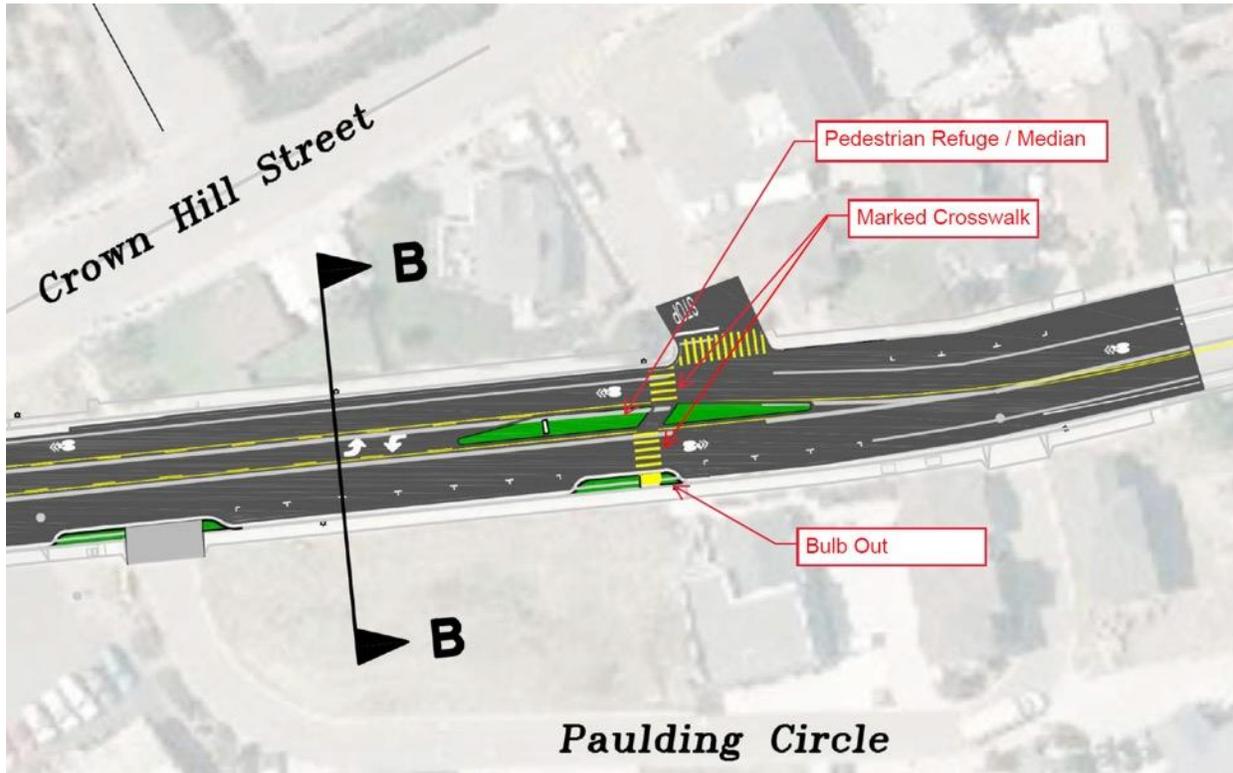
E. Branch St. Segment	Type	Existing	Alternative 1		Alternative 2	
		# Spaces	# Spaces	Difference	# Spaces	Difference
Mason Street to Crown Hill Street	Std	20	13	(7)	19	(1)
	Non-Std	2	0	(2)	0	(2)
Crown Hill Street to Le Point Terrace	Std	9	0	(9)	7	(2)
	Non-Std	1	0	(1)	0	(1)
Le Point Terrace to Garden Street	Std	22	15	(7)	22	(0)
	Non-Std	1	0	(1)	0	(1)
Total	Std	51	28	(23)	48	(3)
	<u>Non-Std</u>	<u>4</u>	<u>0</u>	<u>(4)</u>	<u>0</u>	<u>(4)</u>
	Total:	55	28	(27)	48	(7)

Marked Pedestrian Crosswalks at Le Point Terrace

Both alternatives propose the installation of a marked crosswalk with protected, landscaped median and rectangular rapid flashing signs on East Branch Street at Le Point Terrace. The original concept plan included three (3) landscaped medians along the project segment of Branch Street. However, due to vehicle queuing issues, the only remaining median is located at Le Point Terrace. This provides an opportunity to include a pedestrian connection east of Mason Street and reduces the distance of roadway necessary for pedestrians to cross. The median will be planted with several drought tolerant plants (see Sheet LA2 of Attachment 1). The median is also intended to slow traffic in the area by providing reduced road width striping.



Rectangular Rapid Flashing Beacons



Proposed Enhanced Marked Pedestrian Crossing

Bulb Outs and Vegetation

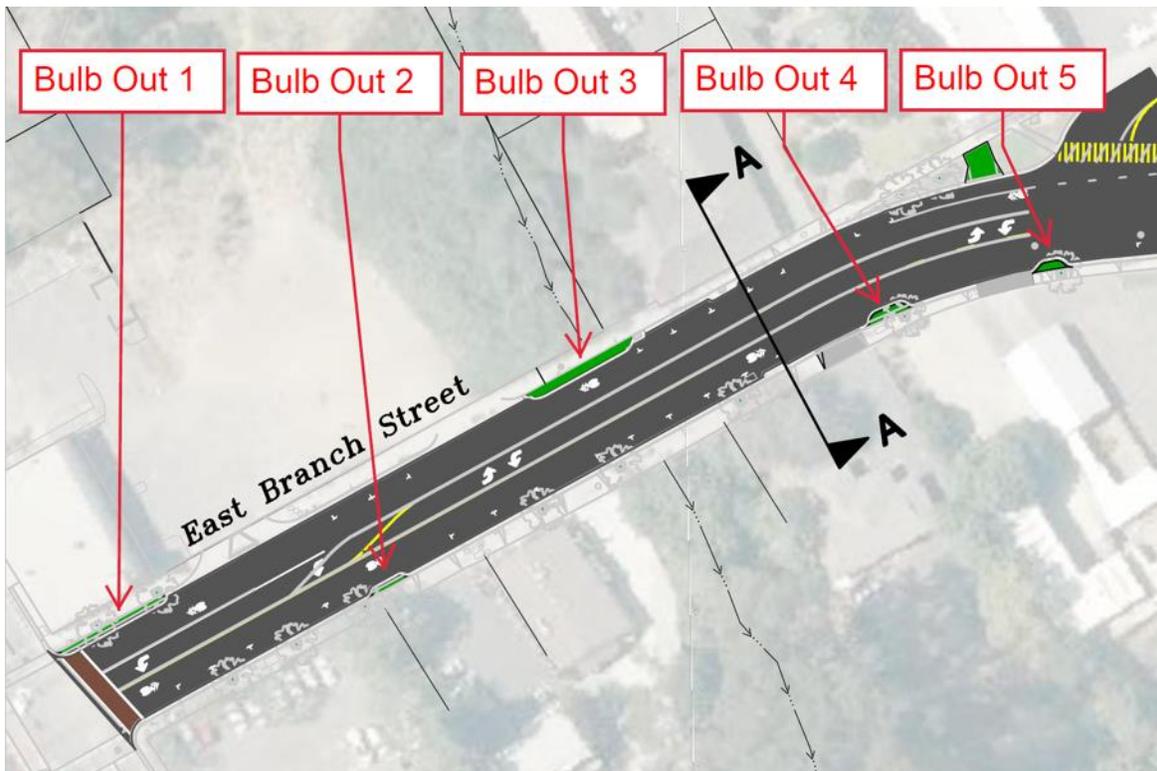
Bulb outs extend the sidewalk into the parking lanes to narrow the roadway and provide additional pedestrian space or landscaping in key locations. Bulb outs may be used at roadway intersections or at mid-block locations. Bulb outs enhance pedestrian safety by increasing pedestrian visibility, shortening crossing distances, slowing turning vehicles, and visually narrowing the roadway. Vegetated bulb outs can focus driver's attention to the roadway prism by limiting vision of peripheral distractions outside the roadway.

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Bulb out have the following benefits:

- Increased pedestrian visibility at intersections;
- Decreased pedestrian exposure to vehicles by shortening the crossing distance;
- Reduced vehicle turn speeds by physically and visually narrowing the roadway;
- Increased pedestrian waiting space;
- Decreased vehicle 85th percentile vehicle speeds;
- Additional space for street furnishings, plantings and other amenities; and
- Reduced unlawful parking at corners crosswalks and bus stops.

The following bulb outs are proposed for the East Branch Streetscaping project.



Bulb Out Vicinity Map 1

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Bulb Out 1

Bulb Out 1 is proposed in both Alternative 1 and 2. The intent of this bulb out is to provide lower vehicle speeds as they enter the Village core, provide for increased aesthetics, and provide for increased separation between the adjacent local business and vehicle traffic.



Proposed Location of Bulb Out 1

Bulb Out 2

Bulb Out 2 is proposed in both Alternative 1 and 2. The intent of this bulb out is to provide for increased public space for pedestrians as well as street furnishings.



Proposed Location of Bulb Out 2

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Bulb Out 3

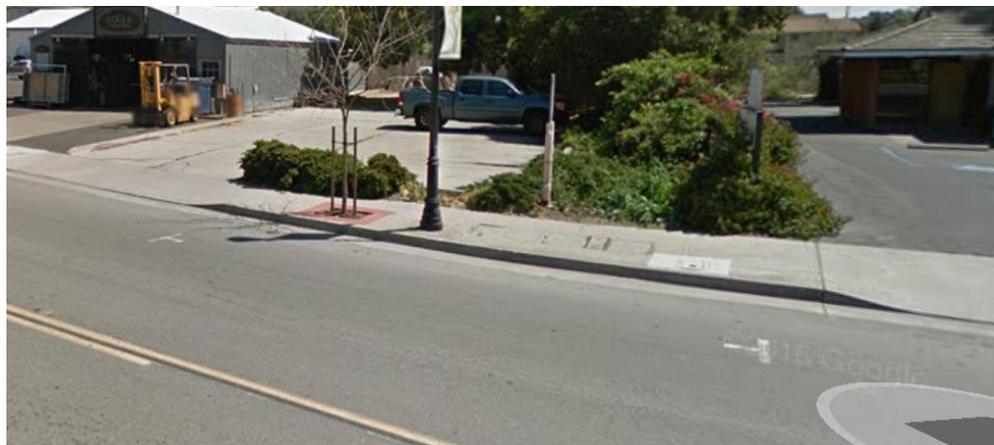
Bulb Out 3 is proposed in both Alternative 1 and 2. The intent of this bulb out is to provide for increased public space and implementation of a landscaped biofiltration facility to increase water quality prior to deposition into Corbett Canyon Creek.



Proposed Location of Bulb Out 3

Bulb Out 4

Bulb Out 4 is proposed in Alternative 2 only. The intent of this bulb out is to move the existing street tree out of the sidewalk and provide for necessary space for pedestrians as well as slow vehicles and encourage them not to cut through the parking area of the roadway.

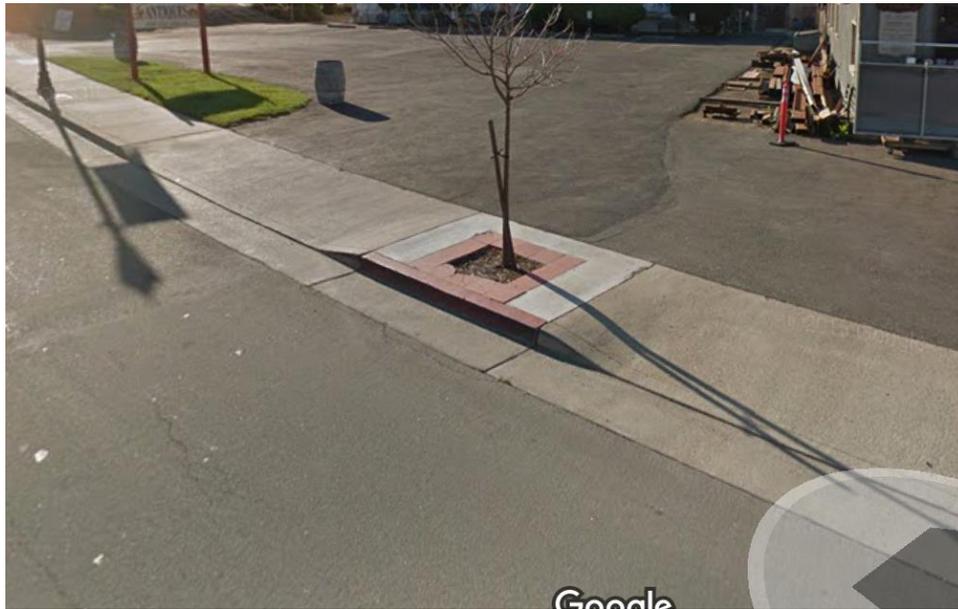


Proposed Location of Bulb Out 4

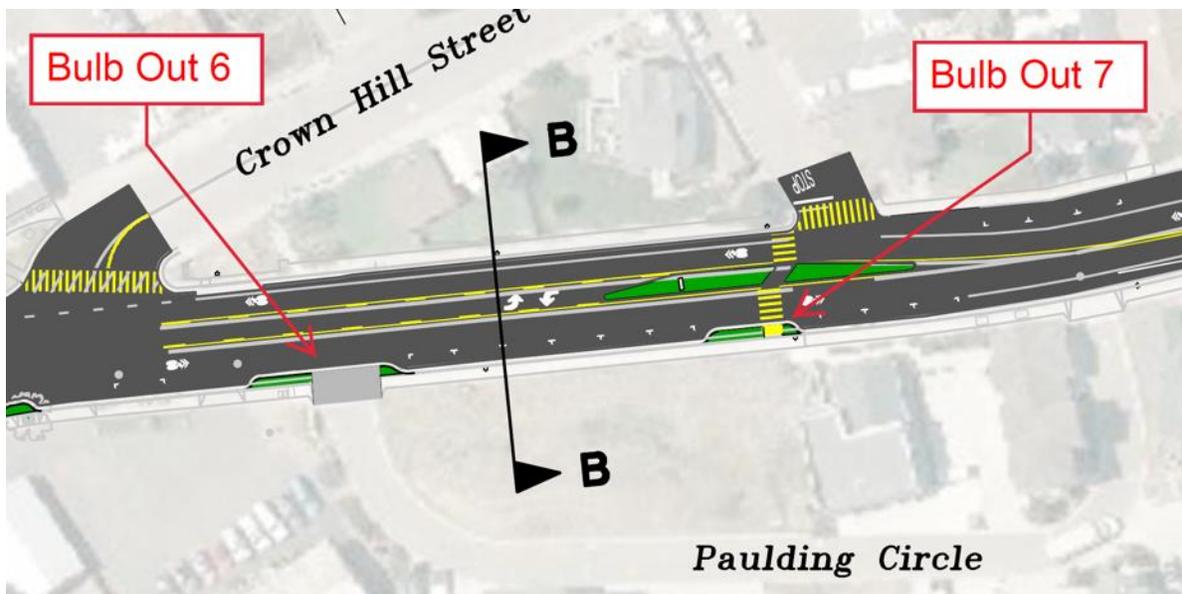
**PLANNING COMMISSION
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Bulb Out 5

Bulb Out 5 is proposed in Alternative 2 only. The intent of this bulb out is to move the existing street tree out of the sidewalk and provide for necessary space for pedestrians as well as slow vehicles and encourage them not to cut through the parking area of the roadway.



Proposed Location of Bulb Out 5



Bulb Out Vicinity Map 2

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Bulb Out 6

Bulb Out 6 is proposed in Alternative 2 only. The intent of this bulb out is to increase sight distance for vehicles exiting Paulding Circle.



Proposed Location of Bulb Out 6

Bulb Out 7

Bulb Out 7 is proposed in Alternative 2 only. The intent of this bulb out is to increase visibility of pedestrians prior to entering the roadway and decrease the crossing distance for pedestrians before leaving the roadway.



Proposed Location of Bulb Out 7

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Tile Sidewalk Bands

Sidewalks in the Village currently include terra cotta tile bands and plantar boxes. These bands cause maintenance issues due to cracking and chipping, present slipping hazards when wet, and result in color differentiation when replaced. As part of this phase of the streetscape project, it is proposed to begin using colored concrete pavers instead of tiles. This will result in sturdy, non-slip surfaces that can provide more consistent coloring throughout the Village area.

ALTERNATIVES:

The following alternatives are provided for the Commission's consideration:

- Review both project Alternatives and make a selection as to the Planning Commission preferred alternative;
- Review both project Alternatives and make a selection as to the Planning Commission preferred alternative with recommended modifications;
- Select “No Project” as the Planning Commission preferred alternative; or
- Provide alternate direction

ADVANTAGES:

Selection of either alternative will result in several aesthetic improvements in the project's segment of Branch Street. Alternative 1 would implement several Priorities of the Bicycle and Trails Master Plan by providing Class II bike lanes within the project area. Alternative 2 will maintain on street parking in an area identified by residents and businesses as being impacted.

DISADVANTAGES:

Implementation of the project will necessitate the loss of some existing on street parking in the project area due to spaces not meeting safety and visibility standards. Alternative 1 results in the greatest loss of on street parking within the project area in exchange for dedicated bike lanes. Alternative 2 retains the most on street parking in exchange for not dedicating area to bike lanes.

ENVIRONMENTAL REVIEW

In accordance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the Arroyo Grande Procedures for the Implementation of CEQA, the project has been determined to be categorically exempt per Section 15301(c) of the CEQA Guidelines regarding projects within existing streets, sidewalks, gutters, bicycle and pedestrian trails and similar features.

PUBLIC NOTICE AND COMMENT:

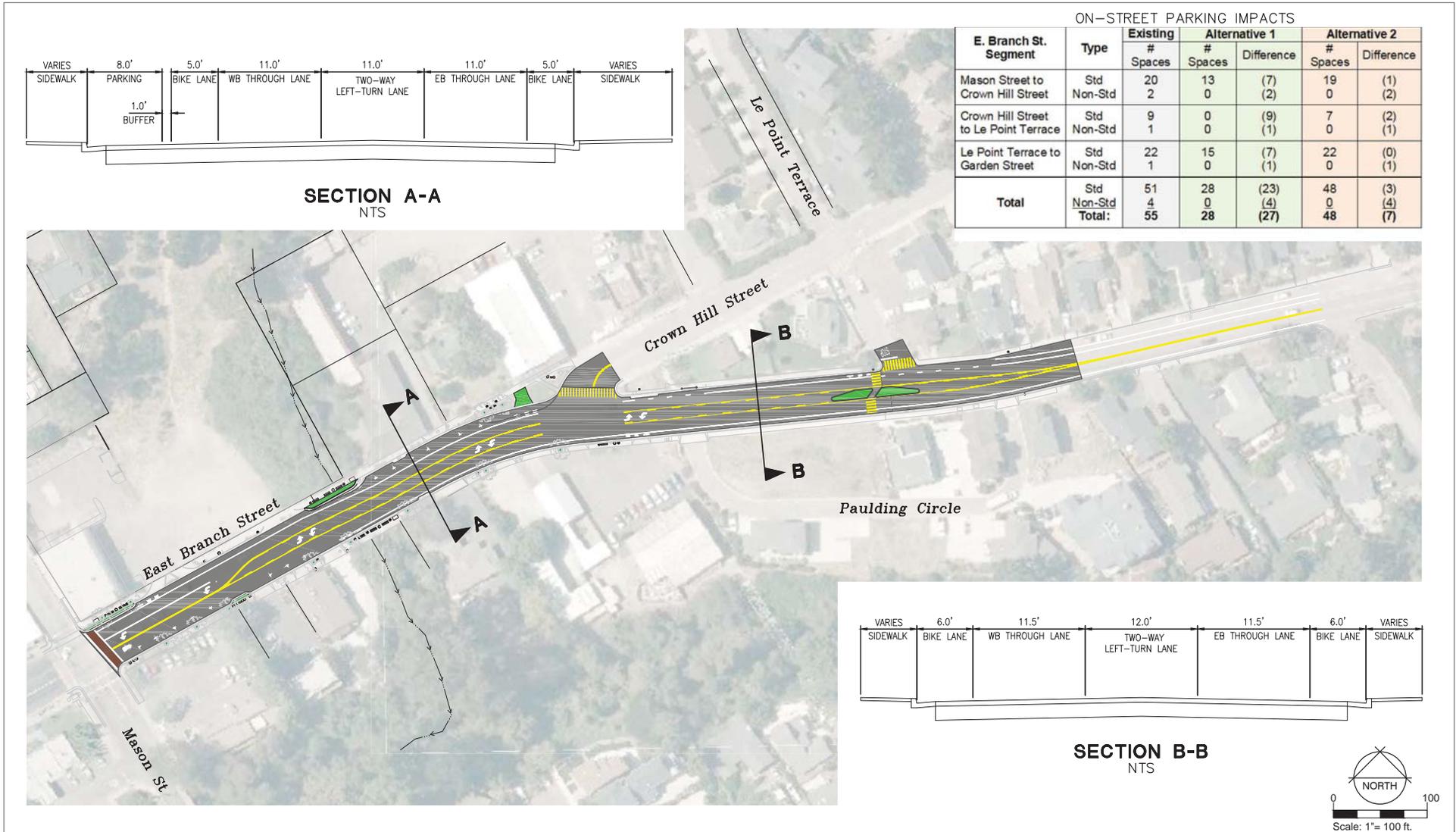
The agenda and staff report were posted at City Hall and on the City's website on Thursday, July 14, 2016. Comments received on the project have centered on the need to retain street parking as much as possible,

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CONSIDERATION OF STAFF PROJECT NO. 16-003
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Attachments:

1. Streetscape design plans
2. Minutes of the May 2, 2016 Architectural Review Committee meeting
3. DRAFT Minutes of the June 20, 2016 Traffic Commission meeting

Alternative 1



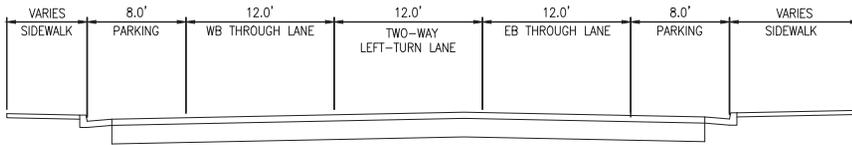
EAST BRANCH STREETSCAPE DESIGN

Arroyo Grande, California

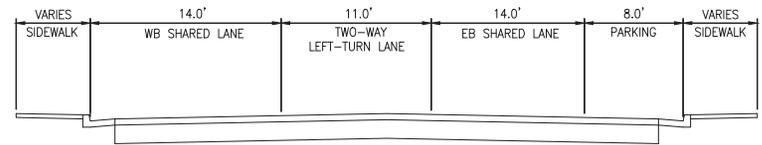
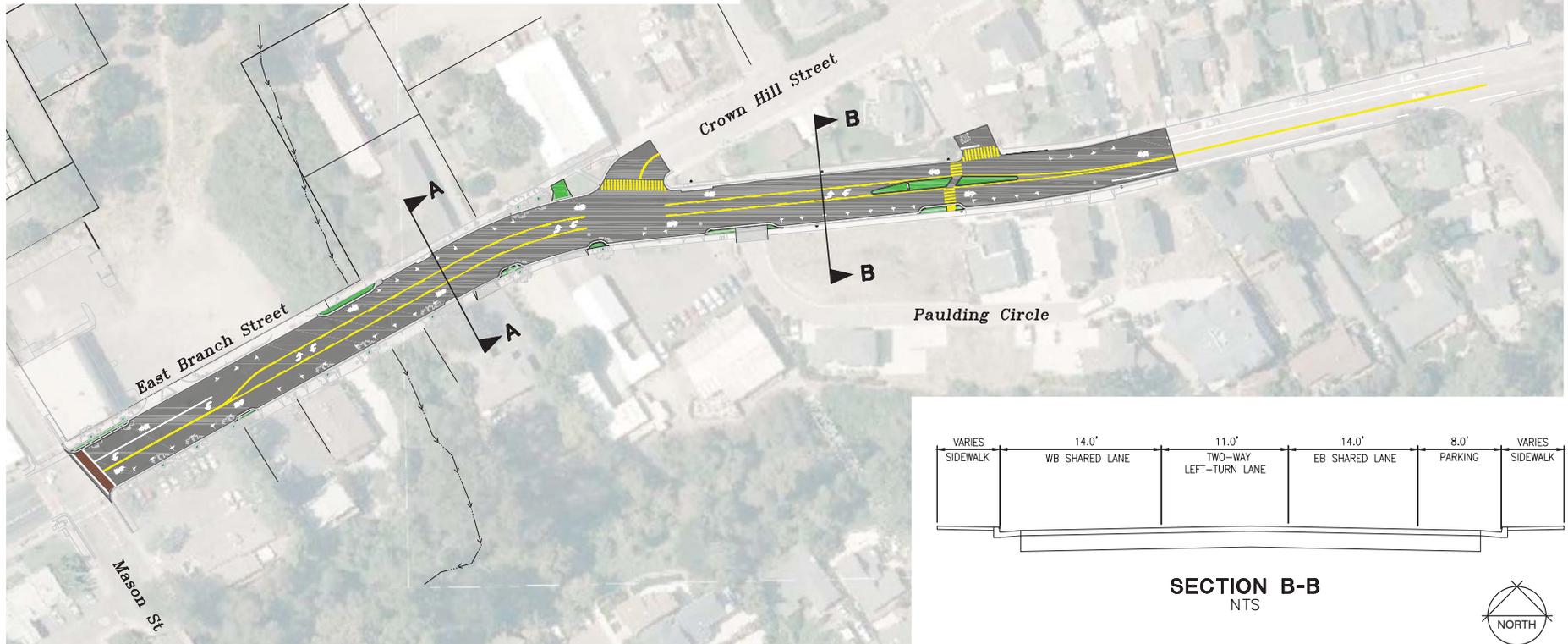
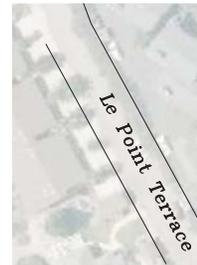
Alternative 2

ON-STREET PARKING IMPACTS

E. Branch St. Segment	Type	Existing		Alternative 1		Alternative 2	
		# Spaces	# Spaces	# Spaces	Difference	# Spaces	Difference
Mason Street to Crown Hill Street	Std	20	13	(7)	19	(1)	
	Non-Std	2	0	(2)	0	(2)	
Crown Hill Street to Le Point Terrace	Std	9	0	(9)	7	(2)	
	Non-Std	1	0	(1)	0	(1)	
Le Point Terrace to Garden Street	Std	22	15	(7)	22	(0)	
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Total	Std	51	28	(23)	48	(3)	
	Non-Std	4	0	(4)	0	(4)	
	Total:	55	28	(27)	48	(7)	



SECTION A-A
NTS



SECTION B-B
NTS



EAST BRANCH STREETSCAPE DESIGN

Arroyo Grande, California



May 17, 2016
65-1275-35 2085RA002.dwg

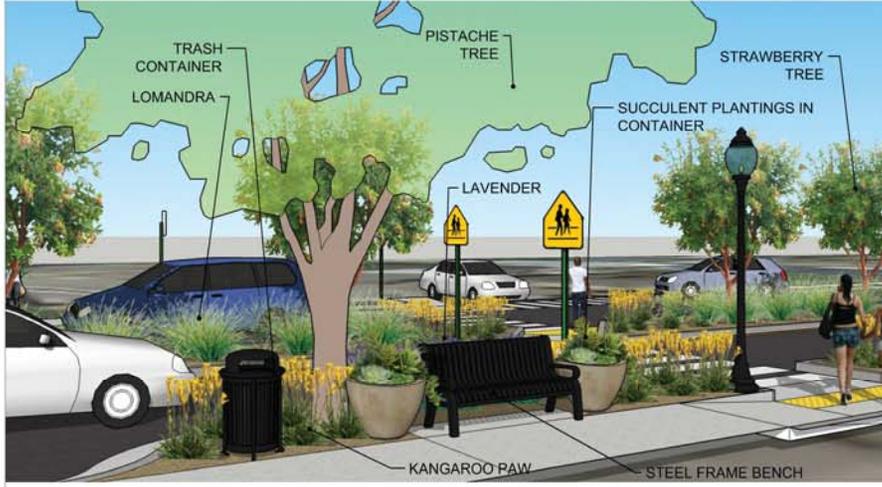
On Street Parking Scenario



PROJECT AREA OVERVIEW



LE POINT TERRACE CROSSING (overview)



TYPICAL LANDSCAPE ENHANCEMENTS



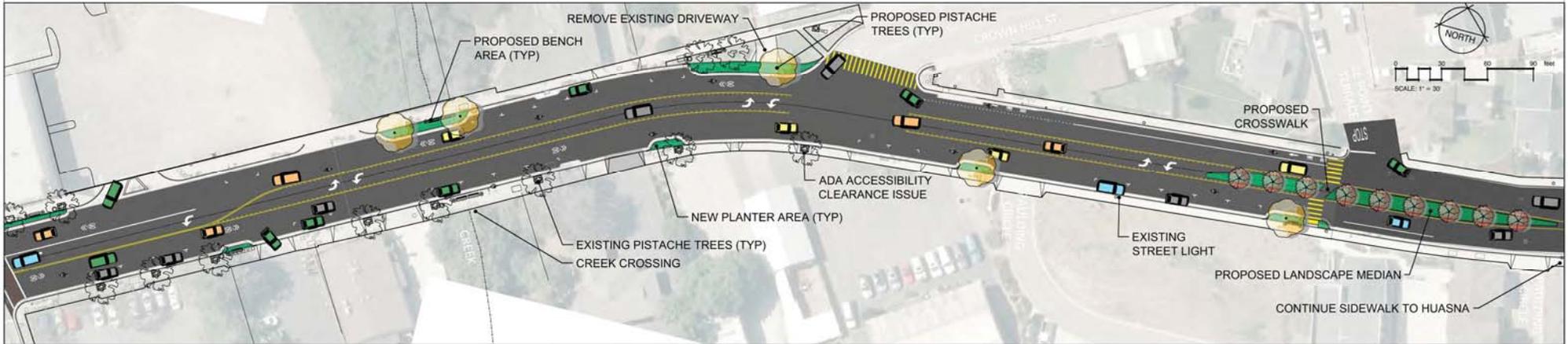
LE POINT TERRACE CROSSING CONCEPT (looking SW)

EAST BRANCH STREETSCAPE DESIGN

Arroyo Grande, California



Plant Images



PROJECT AREA OVERVIEW

TREES



Pistache chinese Keith Davey



Arbutus unedo

SHRUBS, ETC.



Callistemon 'Little John'



Lomandra longifolia Breeze



Lavendula x intermedia Provence



Kangaroo Paw



OR..... Daylily Stella d'Oro

SUCCULENT CONTAINER PLANTING IDEAS



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT
	Arbutus x 'Marina'	Arbutus Standard	24" Box
	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	15 gal
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT
	Anigozanthos 'Bush Lantern'	Bush Lantern Kangaroo Paw	1 gal
	Callistemon viminalis 'Little John'	Dwarf Weeping Bottlebrush	5 gal
	Lavandula x intermedia 'Provence'	Provence Lavender	5 gal
	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	1 gal
	Succulent groups	Succulents In Containers	1 gal

PLANT SELECTION NOTES

The plant selections are a combination of existing materials used within the corridor and some additional relatively low water use / low maintenance plants. The Arbutus Tree provides an interesting bark color, is evergreen year round, and has a canopy that can be contained within the median area. The change of tree alert the driver to a change, helping to bring attention to the pedestrian crosswalk area. The Pistache will continue to be the dominant "Street Tree".

The Lomandra 'Breeze' provides a low growing "ornamental grass look" without the need for the regular pruning associated with other, and currently used ornamental grasses. Green appearance all year round.

Succulent plants in the containers solve the current watering problem (lack of access to an irrigation system) and would only need an occasional dose of water to look good.

EAST BRANCH STREETScape DESIGN

Arroyo Grande, California

Hardscape Elements



PROJECT AREA OVERVIEW



BRIDGE RAILING EXAMPLES
 The intent of replacing the pedestrian rail on the culvert / bridge crossing is to open the view into the creek area and reduce the mass associated with the solid wall currently installed on the culvert crossing.

ACKER STONE PRODUCT



Cherry Cola Color



8x8 Concrete Paver
 REPLACE SLIPPERY AND BRITTLE TILE WITH RED COLORED CONCRETE PAVER



SITE FURNITURE COLLECTION
 Site furniture proposed will be a continuation of the product currently used - by "Dumorf".

EAST BRANCH STREETSCAPE DESIGN

Arroyo Grande, California



Minutes: ARC
Monday, May 2, 2016

1. The applicant shall add a dimensional border to the Medium-density Overlay (MDO) sign on the eastern wall.

The motion carried on a 5-0 voice vote.

Chair Hoag called for a break at 4:27 p.m. The Committee reconvened at 4:31 p.m.

6.a. CONTINUED CONSIDERATION OF STAFF PROJECT NO. 16-003; EAST BRANCH STREETSCAPING PRELIMINARY ALTERNATIVES; LOCATION – EAST BRANCH STREET BETWEEN MASON STREET AND PAULDING CIRCLE; APPLICANT – CITY OF ARROYO GRANDE (Downing)

Planning Manager Downing presented the project.

Planning Manager Downing responded to questions from the Committee regarding the potential number of parking spaces that would be lost under each alternative.

Chair Hoag opened the meeting to public comment.

Duane DeBlauw spoke about the parking situation in the Village and the need to keep as many on-street parking spaces as possible.

Hearing no further public comments, Chair Hoag closed the public comment period.

The Committee provided comments in support of the project regarding fence design, tree wells, and sidewalk pavers.

Mary Hertel made a motion, seconded by Bruce Berlin, to allow the meeting to continue past 5:00 p.m. per the ARC bylaws. The motion carried on a 5-0 voice vote.

Mary Hertel made a motion, seconded by Bruce Berlin, to recommend approval of the project to the City Council with the following considerations:

1. Recommend Alternative 2 in order to maximize on-street parking.
2. Shorten the eastern end of the median to allow for left-handed turns from Paulding Circle.
3. Eliminate the bike lane east of the crosswalk to support on-street parking.
4. Recommend the use of the proposed sidewalk pavers.
5. Recommend alternatives to Kangaroo Paw and Day Lilies.
6. Encourage rainwater capture in bulb out.

The motion carried on 5-0 voice vote.

7. DISCUSSION ITEMS
7.a. ELECTION OF OFFICERS

ACTION MINUTES

**MEETING OF THE TRAFFIC COMMISSION
MONDAY, JUNE 20, 2016
COUNCIL CHAMBERS, 215 E. BRANCH STREET
ARROYO GRANDE, CA**

1. CALL TO ORDER

Chair Ross called the meeting to order at 6:00 p.m.

2. ROLL CALL

Traffic Commissioners: Commissioner Susan Henslin;
Commissioner Kenneth Price;
Commissioner Ken Sage;
Vice Chair Jim Carson; and
Chair Steven Ross

Commissioners absent: None

Staff present: Matt Horn, City Engineer;
Matt Downing, Planning Manager;
Teresa McClish, Director of Community Development;
Beau Pryor, Police Commander; and
Jane Covert-Lannon, Office Assistant II

Consultant Present: Nate Stong, Omni Means

3. PLEDGE OF ALLEGIANCE

Chair Ross led the pledge of allegiance.

4. COMMUNITY COMMENTS AND SUGGESTIONS

Chair Ross opened the Community Comments and Suggestions.

Hearing no public comment, Chair Ross closed the Community Comments and Suggestions.

5. CONSENT AGENDA

None

6. BUSINESS ITEMS

6.a CONSIDERATION OF EAST BRANCH STREET STREETSCAPING PRELIMINARY ALTERNATIVES.

Recommended Action: It is recommended that the Traffic Commission review the project alternatives for the East Branch Streetscaping Project and advise the City Council on the preferred alternative and recommended modifications.

Matt Horn, City Engineer gave the presentation to the Commissioners along with Matt Downing, Planning Manager and Nate Stong, Consultant, Omni Means.

Chair Ross opened the public comment on this item and the following people spoke:

- 1) Ann Dreizler – Cyclist – Sunset Drive – Is in favor of alternative 1. She feels it is safer for students and cyclists. She said that not all children are driven to school and they need a safe option to ride their bikes to school.
- 2) Bob Lund – Linda Drive – President of the Village Improvement Association and Arroyo Grande in Bloom – He has lived in Arroyo Grande for 22 years. He said the Village has improved significantly since he moved here and he would like to see the Village improved and expanded. He likes alternative 2 and says that parking is critical in the Village for both businesses and tourists.
- 3) Susan Flores – E. Branch Street - There is a speed sign at Huasna and 227 that is covered by branches of a tree. She saw that the stakeholders group had four meetings. She looked on line to see if there were minutes to see what they discussed, but no minutes were available. Additionally, there were no invitations to these meetings to any of the residents affected by these decisions.

She said she is okay with alternative 2 if the traffic can be slowed down prior to the crosswalk. She said she is concerned about the speed of traffic and that something needs to be done to mitigate the speed if the crosswalk is installed.

- 4) Mike McConville – E. Branch Street – He said that speed is a concern and drivers gain speed on the curve. He suggested installing “Hill ahead” sign or “watch speed.” Or perhaps an electronic speed sign could be utilized to make drivers pay more attention to their speed. He said he would like to see a lighted crosswalk installed at Crown Hill and East Branch.

He said that Paulding Circle needs street lighting for after dark.

He said he has a problem with not being notified or invited by the stakeholders group and that residents should be notified.

- 5) Noreen Vance – Launa Lane – She said she bikes to school with her son and they often bike in the Village. She supports alternative 1 because it improves safety for cyclists.

- 6) Ron Holt – He supports alternative 1. He said he occasionally commutes as a driver and a cyclist through the Village to work. He says that we need better signage and traffic slowing prior to installing a crosswalk.
- 7) Marsha Papich – Owns two homes that comes out on Le Point Terrace. She wants a safe route for the kids, but there is no sidewalk and when they cut through Le Point Terrace they walk in the middle of the street. She doesn't want the kids and cars to mix. It is a very dangerous crossing.

Hearing no further public comment, Chair Ross closed the public comment.

Commissioner Sage said he took the opportunity to walk the area and watch the traffic flow. He said he agrees with the residents regarding speed and has concerned about the crosswalk. He says something has to be done on the east side to slow traffic before the crosswalk. He said he supports alternative 2 with modification to eliminate bulb out 1 and implement traffic calming before the crosswalk.

Commissioner Price – He said that the most important aspect of this decision is sending parents the message that safety is number one. He said alternative 2 would work, but alternative 1 would be better and would make it much safer for cyclists. He said he would for alternative 1 and grudgingly for alternative 2. He said the message should be sent for safety.

Vice Chair Carson – He said that he has concerns about lane widths and bulbouts. He said we are asking the small street that was built 100 years ago to do more that it was designed to do. He said this is not the place to make these changes. He said that he supports alternative 2 and suggests taking eliminating the crosswalk and bulbouts 5,6,7 and making Pauling Circle a one way street.

Commissioner Henslin – She said that Arroyo Grande has grown and the Village has been impacted. She said the road is narrow and the topography is an issue. She said there is no room for alternative 1 in this area, it reduces too much parking. She said that she supports alternative 2 because it balances needs but is not a perfect solution. She said she agrees that good signage is needed near Huasna regarding the crosswalk and speed.

Chair Ross said that narrowing lanes in this area would have a negative impact on the area. He said bulb outs help to slow the traffic. He said he supports alternative 2 with some modification.

ACTION: Commissioner Price moved to choose alternative 1 as presented with some modifications. There was no second and the motion died.

ACTION: Vice Chair Carson moved to approve alternative 2 as presented. The motion was seconded by Commissioner Sage and the motion passed on the following vote:

AYES: Carson, Sage, Henslin, Ross

NOES: Price

ABSENT:

ACTION: Commissioner Sage made a motion to removed bulbout 1 from alternative 2. Commissioner Henslin seconded the motion and the vote passed with a voice vote.

ACTION: Commissioner Sage made a motion to retain bulbout 2 as outlined in alternative 2. Commissioner Price seconded the motion and the motion passed with a voice vote, with one no.

ACTION: Commissioner Price made a motion to remove bulbout 4 and Vice Chair Carson seconded the motion and the vote passed with a voice vote with two nos.

ACTION: Vice Chair Carson made a motion to remove bulbout 5 and Commissioner Price seconded the motion and the vote passed with a voice vote with two nos.

ACTION: Commissioner Price made a motion to retain bulbout 7, the crosswalk and the median and Commissioner Sage seconded the motion and the vote passed with a voice vote with one no.

7. **DISCUSSION ITEMS**

None

8. **COMMISSION COMMUNICATIONS**

None

9. **ADJOURNMENT**

Chair Ross adjourned the meeting at 8:10 p.m.

Steven Ross, Chair

ATTEST:

**Jane Covert-Lannon
Office Assistant II**

(Approved at TC Mtg:)

**ADMINISTRATIVE ITEMS
PLANNING COMMISSION
JULY 19, 2016**

(Approvals by the Community Development Director)

ITEM NO. 1: TEMPORARY USE PERMIT 16-011; HONEY SALES; LOCATION – 400 TRAFFIC WAY; APPLICANT – STEVEN WOOD

After making the findings specified in Section 16.16.090 of the Municipal Code, the Community Development Director approved the above referenced project to allow the sales of honey at the Log Cabin Market located at 400 Traffic Way until December 31st, 2016.