



AGENDA SUMMARY
ARCHITECTURAL REVIEW COMMITTEE SPECIAL MEETING
MONDAY, JANUARY 11, 2016
2:30 P.M.
CITY HALL 2ND FLOOR CONFERENCE ROOM
300 E. BRANCH STREET, ARROYO GRANDE

1. CALL TO ORDER

2. ROLL CALL

3. FLAG SALUTE:

4. COMMUNITY COMMENTS AND SUGGESTIONS:

This public comment period is an invitation to members of the community to present issues, thoughts, or suggestions. Comments should be limited to those matters that are within the jurisdiction of the Architectural Review Committee (ARC). The Brown Act restricts the ARC from taking formal action on matters not scheduled on the agenda.

5. APPROVAL OF MINUTES:

5.a. Approval Of The December 21, 2015 Meeting.

Documents: [ARC 05.a. Draft Minutes 12-21-15.pdf](#)

6. PROJECTS:

Members of the public may speak on any of the following items when recognized by the Chair.

6.a. CONSIDERATION OF ARCHITECTURAL REVIEW 15-014; LOCATION – SOUTHWEST CORNER OF EAST GRAND AVENUE AND SOUTH COURTLAND STREET; APPLICANT – MFI LIMITED; REPRESENTATIVE – RRM DESIGN GROUP

Recommended Action: It is recommended that the Architectural Review Committee review the proposed project and make a recommendation to the Community Development Director.

Documents: [ARC 06.a. ARCH 15-014 Courtland.pdf](#)

6.b. CONSIDERATION OF ARCHITECTURAL REVIEW 15-011 AND MINOR EXCEPTION 16-001 FOR ONE FOOT (1') REDUCTION OF SIDE YARD SETBACK; NEW TWO-STORY RESIDENCE; LOCATION – SHORT STREET; APPLICANT – CINDY NOTT; REPRESENTATIVE – MICHAEL FISHER

Recommended Action: It is recommended that the Architectural Review Committee review the proposed project and make a recommendation to the Community Development Director.

Documents: [ARC 06.b. ARCH 15-011 MEX 16-001 Short Street.pdf](#)

6.c. CONSIDERATION OF ADMINISTRATIVE SIGN PERMIT 15-014; ONE NEW WALL SIGN AND REFACING OF EXISTING POLE SIGN; LOCATION – 139 TRAFFIC WAY REPRESENTATIVE – TOM DIAZ; SIGN CONTRACTOR – NORTHERN SIGN AND DESIGN

Recommended Action: It is recommended that the Architectural Review Committee review the proposed project and make a recommendation to the Community Development Director.

7. DISCUSSION ITEMS:

8. COMMITTEE COMMUNICATIONS:

Correspondence/Comments as presented by the Architectural Review Committee.

9. STAFF COMMUNICATIONS:

Correspondence/Comments as presented by City staff.

10. ADJOURNMENT

All staff reports or other written documentation, including any supplemental material distributed to a majority of the Architectural Review Committee within 72 hours of a regular meeting, relating to each item of business on the agenda are available for public inspection during regular business hours in the Community Development Department, 300 East Branch Street, Arroyo Grande. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by the Americans with Disabilities Act. To make a request for disability-related modification or accommodation, contact the Legislative and Information Services Department at 805-473-5414 as soon as possible and at least 48 hours prior to the meeting date.

This agenda was prepared and posted pursuant to Government Code Section 54954.2. The Agenda can be accessed and downloaded from the City's website at www.arroyogrande.org. If you would like to subscribe to receive email or text message notifications when agendas are posted, you can sign up online through our [Notify Me](#) feature.

ACTION MINUTES

REGULAR MEETING OF THE ARCHITECTURAL REVIEW COMMITTEE DECEMBER 21, 2015 CITY HALL SECOND FLOOR CONFERENCE ROOM, 300 EAST BRANCH STREET ARROYO GRANDE, CA

1. CALL TO ORDER

Chair Hoag called the Regular Architectural Review Committee meeting to order at 3:30 p.m.

2. ROLL CALL

ARC Members: Committee Members Bruce Berlin, Michael Peachey, Mary Hertel, and Warren Hoag were present. Committee Member John Rubatzky was absent.

City Staff Present: Associate Planner Matt Downing was present.

3. FLAG SALUTE

Mary Hertel led the Flag Salute.

4. COMMUNITY COMMENTS AND SUGGESTIONS

None.

5. APPROVAL OF MINUTES

Mary Hertel made a motion, seconded by Bruce Berlin, to approve the minutes of December 7, 2015 as submitted. The motion passed on a 4-0 voice vote.

6. PROJECTS

6.a. CONSIDERATION OF ADMINISTRATIVE SIGN PERMIT 15-018; NEW WALL SIGNS; LOCATION – 107 NELSON STREET; APPLICANT – KEN STARR (ANDERSON)

Associate Planner Downing presented the staff report and recommended the Architectural Review Committee review the proposed signage and make a recommendation to the Community Development Director.

Associate Planner Downing responded to questions from the Committee.

Robin McDonald, representative, spoke in support of the project and responded to questions from the Committee.

The Committee provided comments in support of the project.

Mary Hertel made a motion, seconded by Michael Peachey, to recommend approval of the project as submitted to the Community Development Director. The motion carried on a 4-0 voice vote.

6.b. CONSIDERATION OF CONDITIONAL USE PERMIT 15-010; INCIDENTAL ON-SITE SALE OF BEER AND WINE WITH ASSOCIATED ARCHITECTURAL MODIFICATIONS; LOCATION – 924 WEST BRANCH STREET; APPLICANT – STARBUCKS COFFEE COMPANY; REPRESENTATIVE – SPENCER REGNERY, GPA INC. (DOWNING)

Associate Planner Downing presented the staff report recommending the Architectural Review Committee review the proposed project and make a recommendation to the Planning Commission.

Associate Planner Downing responded to questions from the Committee.

Spencer Regnery, representative, spoke in support of the proposed project and responded to questions from the Committee.

The Committee provided comments in support of the project while ensuring ADA access was maintained.

Bruce Berlin made a motion, seconded by Michael Peachey, recommending approval of the project as submitted to the Planning Commission, so long as ADA clearance is maintained on the sidewalk between the new guardrail and vehicular overhang. The motion passed on a 4-0 voice vote.

7. DISCUSSION ITEMS

7.a. TENTATIVE MEETING SCHEDULE FOR JANUARY AND FEBRUARY 2016
(DOWNING)

Associate Planner Downing presented the staff report regarding tentative meeting dates for January and February 2016 due to holidays during those months.

It was the consensus of the Committee that quorums would be available for all tentative meeting dates. No formal action was necessary.

8. COMMITTEE COMMUNICATIONS

None.

9. STAFF COMMUNICATIONS

Associate Planner Downing provided information on the City's closure schedule for the winter holidays.

10. ADJOURNMENT

The meeting was adjourned at 4:30 pm to a special meeting on January 11, 2016 at 2:30 pm.

MATTHEW DOWNING
ASSOCIATE PLANNER

WARREN HOAG, CHAIR

DRAFT



MEMORANDUM

TO: ARCHITECTURAL REVIEW COMMITTEE

FROM: TERESA McCLISH, COMMUNITY DEVELOPMENT DIRECTOR

BY: MATTHEW DOWNING, ASSOCIATE PLANNER

SUBJECT: CONSIDERATION OF ARCHITECTURAL REVIEW 15-014; LOCATION – SOUTHWEST CORNER OF EAST GRAND AVENUE AND SOUTH COURTLAND STREET; APPLICANT – MFI LIMITED; REPRESENTATIVE – RRM DESIGN GROUP

DATE: JANUARY 11, 2016

RECOMMENDATION:

It is recommended the Architectural Review Committee (ARC) review the project and make a recommendation to the Community Development Director.

BACKGROUND:

Location



**ARCHITECTURAL REVIEW COMMITTEE
CONSIDERATION OF ARCHITECTURAL REVIEW 15-014
JANUARY 11, 2016
PAGE 2**

The subject property is identified as Subarea 3 of the Berry Gardens Specific Plan (BGSP), is zoned Gateway Mixed-Use (GMU) with the BGSP overlay, and is approximately 4.47 acres in size. On October 8, 2015, the City Council approved Development Agreement 15-002 and associated planning applications for the development of a mixed-use project on the subject property. The approval included construction of three (3) commercial buildings totaling approximately 15,600 square feet (Subarea 3a), thirty-six (36) single-family detached residences at a density comparable to the City's multi-family densities (Subarea 3b), and associated site and public improvements. Project approval required review of the modified commercial architecture, trash enclosure location and design, and fence design by the ARC.

Architectural Review Committee

The ARC previously reviewed a significantly similar project on November 3, 2014 (Attachment 1). At that time, the ARC was in support of the project, including building architecture and design of the trash enclosures on Subarea 3a. The ARC recommended several items for the applicant to include in the project. One (1) of these items requiring condominium parking to be protected is no longer applicable, as the Council approved the project without the condominiums above the commercial buildings. The other items, including green roofs on the trash enclosures, additional bike racks, and protecting pedestrians from the center driveway, may be discussed again as part of the Architectural Review.

ANALYSIS OF ISSUES:

Building Architecture

The commercial buildings are proposed as prime examples of the contemporary style and massing that lends itself to a vibrant, pedestrian-oriented development. This includes smooth, flat surfaces with clean lines and a mixture of materials, including brick, smooth stucco, large glass display windows, and dark bronze anodized metal. Massing of the buildings is a uniform two-story height adjacent to the sidewalk, which is meant to enclose the street and create a more inviting, pedestrian friendly and distinguishable atmosphere. A materials and colors board will be provided at the meeting. The proposed commercial buildings comply with the approved Development Agreement and BGSP with regard to square-footage, height, lot coverage, and floor-area-ratio.

The residential buildings were previously recommended for approval by the ARC and remain designed with a more contemporary, mid-century style. The residences will utilize differing colors between five (5) styles, each with bold accent colors, corrugated metal roofing over the porches, asphalt shingle roofing over the remainder, white vinyl windows, and a variety of roof forms.

Trash Enclosures

Two (2) trash enclosures are proposed on the commercial portion of the approved project. One (1) enclosure is located in the middle of the development on the southern boundary of Subarea 3a. The second enclosure is located on the western boundary of

**ARCHITECTURAL REVIEW COMMITTEE
CONSIDERATION OF ARCHITECTURAL REVIEW 15-014
JANUARY 11, 2016
PAGE 3**

the commercial development. Both trash enclosures will be constructed of split face block and screened with vegetation. For the residential component of the project, trash cans will be stored on individual residential properties behind fence screening.

Fence Height

The Berry Gardens Specific Plan allows fences and retaining wall combinations in Subarea 3 to be twelve feet (12') tall with a maximum of six feet (6') of each section for fences placed on property lines. The exception to this is limiting fencing along East Grand Avenue and South Courtland Street being limited to three feet (3'). The applicant has provided site sections indicating these fence/wall combinations to comply with the Specific Plan. Fences between commercial and residential uses will be double sided to block vehicle headlights from spilling into residential properties.

Attachments:

1. Minutes from the November 3, 2014 Architectural Review Committee meeting
2. Project plans

ARC MINUTES
NOVEMBER 3, 2014

6.c. Consideration of General Plan Amendment 14-002, Specific Plan Amendment 14-001, Conditional Use Permit 14-009, and Vesting Tentative Tract Map 14-001; Subdivision of two (2) commercial parcels into forty-one (41) residential lots, one (1) common area lot, and two (2) commercial lots; Location – Southwest corner of East Grand Avenue and South Courtland Street; Applicants – MFI Limited and NKT Commercial; Representative – RRM Design Group

Staff Contact: Matthew Downing

Assistant Planner Downing presented the staff report.

The Committee asked question regarding guest parking amount and location, number of four bedroom units, water use, traffic, ADA accessibility, private roads, sign area, rooftop screening, and the need for the General Plan Amendment.

Debbie Rudd, Scott Martin, Tony Keith, Lenny Grant, and Darrin Cabral, RRM Design Group, Andy Mangano, Mangano Homes, and Nick Tompkins, NKT Commercial, spoke in support of the project.

The Committee asked questions about site drainage, site grade, traffic and access, bike racks, trash enclosures, bus operation hours, fencing, commercial viability, housing affordability, location of designated parking spaces for mixed-use residences, pedestrian access and circulation, and commercial driveway options.

The Committee commented that they had concerns regarding the phasing of construction and desired the commercial to be built first, density of project might not fit the City, concern for residences on the western boundary, concerned on traffic circulation, the commercial architecture is high quality and catches your eye, will increase pedestrian activity in the area, need to slow cars coming from East Grand Avenue, the project is distinctive from Berry Gardens, and the loss of commercial development might serve a higher community purpose by promoting reinvestment on East Grand Avenue.

Barbara Harmon made a motion, seconded by Bruce Berlin to recommend approval of the project to the Planning Commission with the following conditions:

1. If the central commercial driveway proceeds, project shall include open fencing or barriers at the central drive to help designate appropriate pedestrian crossings;
2. Protect condominium parking with specific designations as practical;
3. Consider more commercial bike racks; and
4. Consider a green roof pilot project for the trash enclosures.

The motion carried on a 4-0-1 voice vote, with Vice Chair Peachey absent.

Chair Hoag called for a break at 4:45. The Committee reconvened at 4:50.

Vice Chair Peachey returned to the meeting. Committee member Harmon recused herself for Item 6.d. due to a conflict of interest as a result of owning real property near the project.

6.d. Consideration of Plot Plan Review 12-009; New Heritage Square Park restroom; Location – Heritage Square Park on Short Street; Applicant – City of Arroyo Grande – Geoff English, Public Works Director

Staff Contact: Aileen Nygaard

Associate Planner Nygaard provided the staff report for the project.

Committee members asked questions regarding vehicle clearance, light design and location, and landscaping.

The Committee made comments in support of the project

Mike Peachey made a motion, seconded by Mary Hertel to recommend approval of the project to the Community Development Director as submitted.

The motion carried on a 4-0-1 voice vote, with Barbara Harmon absent.

Barbara Harmon returned to the meeting.

6.e. Consideration of Architectural Review Committee appointment to the Community Service Grant Panel

Staff Contact: Teresa McClish

Associate Planner Nygaard and Assistant Planner Downing provided the staff report for the project.

Committee member Berlin volunteered to serve on the CSGP. Committee member Harmon volunteered to act as the alternate representative.

Chair Hoag made a motion, seconded by Vice Chair Peachey to appoint Bruce Berlin as the ARC representative on the Community Service Grant Panel with Barbara Harmon as the alternate.



SHEET INDEX

A1	TITLE SHEET
A2	PROPOSED SITE PLAN
A3	SITE SECTIONS
A4	COMMERCIAL PERSPECTIVE
A5	COMMERCIAL PERSPECTIVE
A6	COURTLAND PERSPECTIVE
A7	COMMERCIAL ELEVATIONS
A8	COMMERCIAL ELEVATIONS
A9	RESIDENTIAL REFUGE EXHIBIT

PROJECT DIRECTORY:

OWNER: **ANDREW MANGANO**
MANGANO HOMES
735 TANK FARM ROAD, SUITE 240
SAN LUIS OBISPO, CA 93401

APPLICANT: **ANDREW MANGANO**
MANGANO HOMES
735 TANK FARM ROAD, SUITE 240
SAN LUIS OBISPO, CA 93401

ARCHITECT: **RRM DESIGN GROUP**
3765 S.HIGUERA STREET, SUITE 102
SAN LUIS OBISPO, CA 93401
CONTACT: DARIN CABRAL
PHONE: (805)-543-1794
EMAIL: DJCABRAL@RRMDESIGN.COM

PROJECT ADDRESS: COURTLAND ST AND GRAND AVE
ARROYO GRANDE, CA 93420

APN NUMBERS:
077-131-052
077-131-054

PROJECT DESCRIPTION:

THE COURTLAND AND GRAND PROJECT SITE IS LOCATED WITHIN THE WESTERN GATEWAY SEGMENT IN THE CITY OF ARROYO GRANDE ALONG EAST GRAND AVENUE. THE PROJECT TEAM PROPOSES TO DEVELOP A UNIQUELY DESIGNED SITE LOCATED ACROSS TWO PARCELS WITHIN THE EXISTING BERRY GARDEN SPECIFIC PLAN AREA. TWO COMMERCIAL BUILDINGS WILL FRONT ONTO EAST GRAND AVENUE WITH A THIRD COMMERCIAL BEHIND. ATTRACTIVE STREETSCAPE TREATMENTS AND OUTDOOR PLAZA SPACES DEFINE THE STREET LEVEL BUILDING USES AND ENTICE PEDESTRIAN ACTIVITY. THE RESIDENTIAL PORTION OF THE PROJECT LOCATED TO THE SOUTH OPENS UP ONTO A CENTRAL NEIGHBORHOOD GREEN THAT IS AT THE HEART OF THE RESIDENTIAL SITE. THREE AND FOUR BEDROOM DETACHED TOWNHOME UNITS ARE INCLUDED THAT WILL SERVE A WIDE RANGE OF ENTRY-LEVEL AND WORKFORCE HOUSING NEEDS WITHIN THE ARROYO GRANDE COMMUNITY.

COMMERCIAL:
THE COMMERCIAL SITE WILL CONSIST OF ONE (3) ONE-STORY COMMERCIAL BUILDINGS TOTALING APPROXIMATELY 15,600 SF.

RESIDENTIAL:
THE RESIDENTIAL UNITS WILL CONSIST OF FIVE (5) UNIT TYPES RANGING IN SIZE FROM 1,700-2,150 SF. ALL RESIDENTIAL UNITS WILL BE TWO-STORY WITH ATTACHED TWO-CAR GARAGES. THE ARCHITECTURAL STYLE FOR ALL RESIDENTIAL UNITS WILL BE CONTEMPORARY, "MID-CENTURY MODERN".

PROJECT STATISTICS:

ZONING: GMU-SP

MIXED-USE COMMERCIAL
MAX ALLOWED HEIGHT: 35 FT. (ANY ARCH. FEATURES SHALL NOT EXCEED 40')
PROPOSED HEIGHT: 35 FT. (ANY ARCH. FEATURES SHALL NOT EXCEED 40')

MAX ALLOWED LOT COVERAGE: 50%
PROPOSED COV.: 24%

MAX F.A.R.: 1.5
PROPOSED F.A.R.: 0.33

LOT SIZE: 1.24 ACRES (57,073 SF)
PROPOSED DENSITY: N/A

RESIDENTIAL
MAX ALLOWED HEIGHT: 35 FT. (OR TWO (2) STORIES)
PROPOSED HEIGHT: 35 FT. (OR TWO (2) STORIES)

MAX ALLOWED LOT COVERAGE: 65%
PROPOSED COV.: VARIES (< MAX ALLOWED LOT COVERAGE)

MAX F.A.R.: 1.25
PROPOSED F.A.R.: VARIES (< MAX ALLOWED F.A.R.)

MAX. ALLOWED DENSITY: 15 DU/AC
LOT SIZE: 3.13 ACRES (136,342 SF)
MAX DWELLING UNITS: 3.13*15 = 46 DU
PROPOSED DENSITY: (36) 3 AND 4 BEDROOM UNITS = 36 DU

PARKING STATISTICS

COMMERCIAL DEVELOPMENT AREA:
COMMERCIAL PARKING REQUIRED:
1 SPACE PER 250 SQ/FT OF GROSS FLOOR AREA (15,600 SQ/FT) = 62 SPACES
TOTAL PARKING REQUIRED: 62 SPACES

COMMERCIAL PARKING PROVIDED:
1 SPACE PER 250 SQ/FT OF GROSS FLOOR AREA (15,600 SQ/FT) = 62 SPACES
ADDITIONAL COMMERCIAL SPACES = 15 SPACES
TOTAL PARKING PROVIDED: 77 SPACES

RESIDENTIAL PARKING REQUIRED:
2 SPACES PER UNIT (ENCLOSED GARAGE) = 72 SPACES
0.5 GUEST SPACES PER UNIT = 18 SPACES
TOTAL RESIDENTIAL PARKING REQUIRED = 90 SPACES

RESIDENTIAL PARKING PROVIDED:
2 SPACES PER UNIT (ENCLOSED GARAGE) = 72 SPACES
1.0 GUEST SPACES PER UNIT = 37 SPACES
TOTAL RESIDENTIAL PARKING PROVIDED = 109 SPACES

REQUIRED MOTORCYCLE SPACES – MUNICIPAL CODE 16.56.080
1 DESIGNATED MOTORCYCLE PARKING AREA FOR USES REQUIRING MORE THAN 25 AUTO SPACES. MOTORCYCLE PARKING AREAS REQUIRED SHALL COUNT TOWARDS FULFILLING AUTO PARKING SPACES AT A RATE OF ONE PARKING SPACE PER MOTORCYCLE PARKING AREA.

REQUIRED FOR COMMERCIAL
1 MOTORCYCLE PARKING AREA

PROPOSED FOR COMMERCIAL
1 MOTORCYCLE PARKING AREA

REQUIRED BICYCLE SPACES – MUNICIPAL CODE 16.56.150.2
5% OF REQUIRED AUTO SPACES.

REQUIRED FOR COMMERCIAL
3 TOTAL BICYCLE SPACES

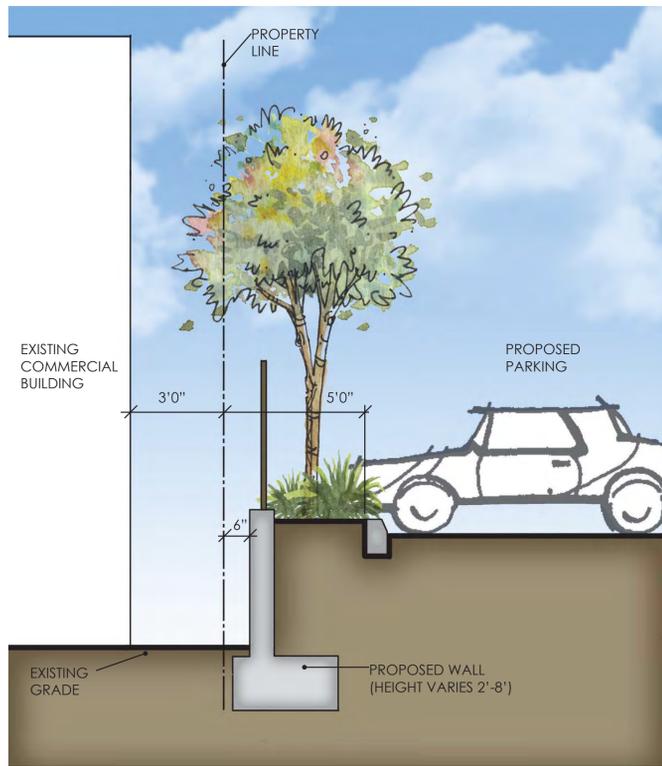
PROPOSED FOR COMMERCIAL
3 TOTAL BICYCLE SPACES

VICINITY MAP

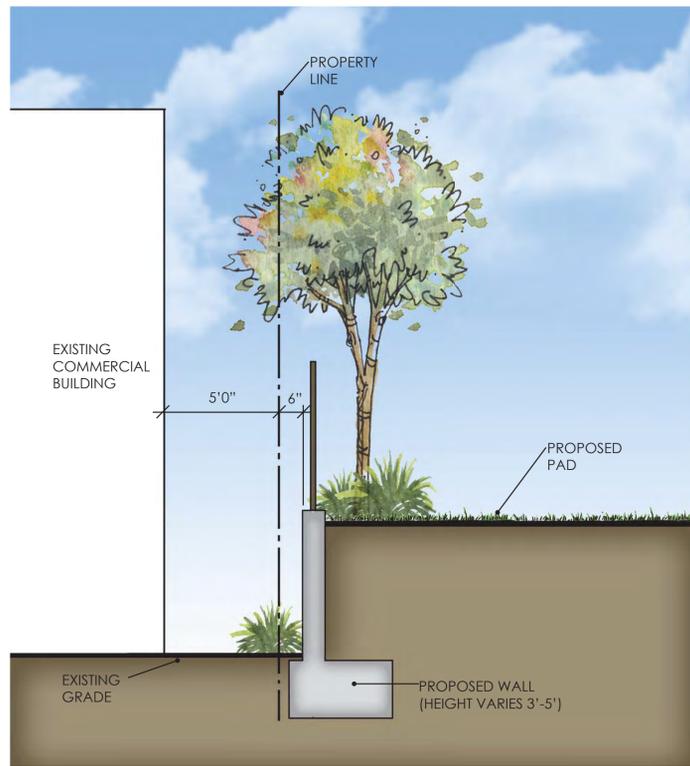




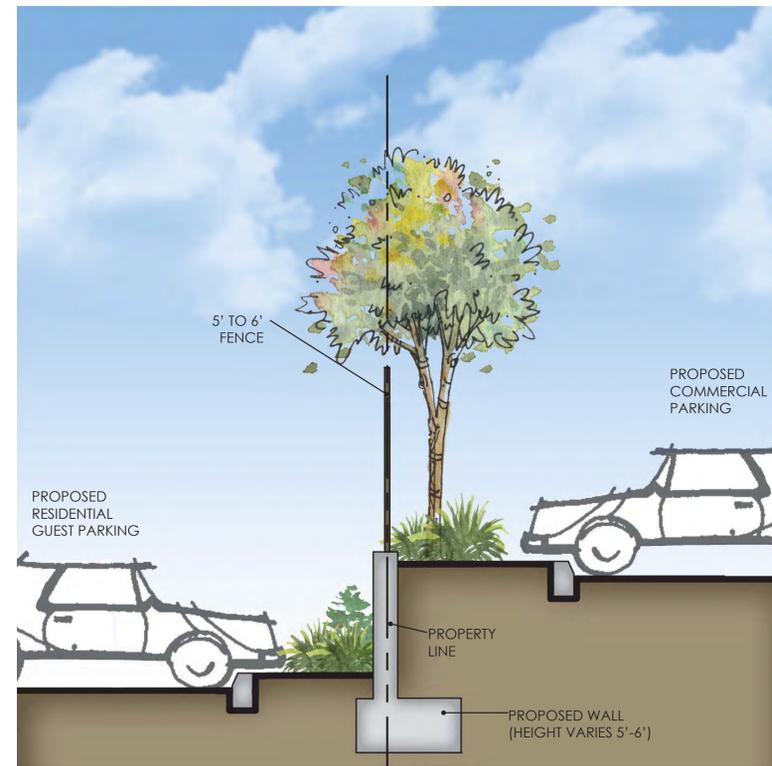
0 15 30 60 120
 SCALE: 1" = 30' (24x36 sheet)
 SCALE: 1" = 60' (12x18 sheet)



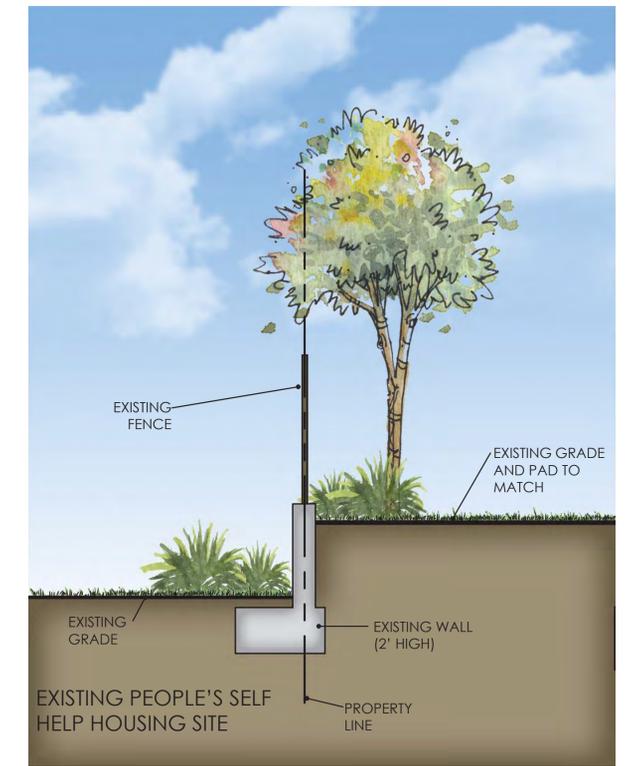
Section 1-Commercial West



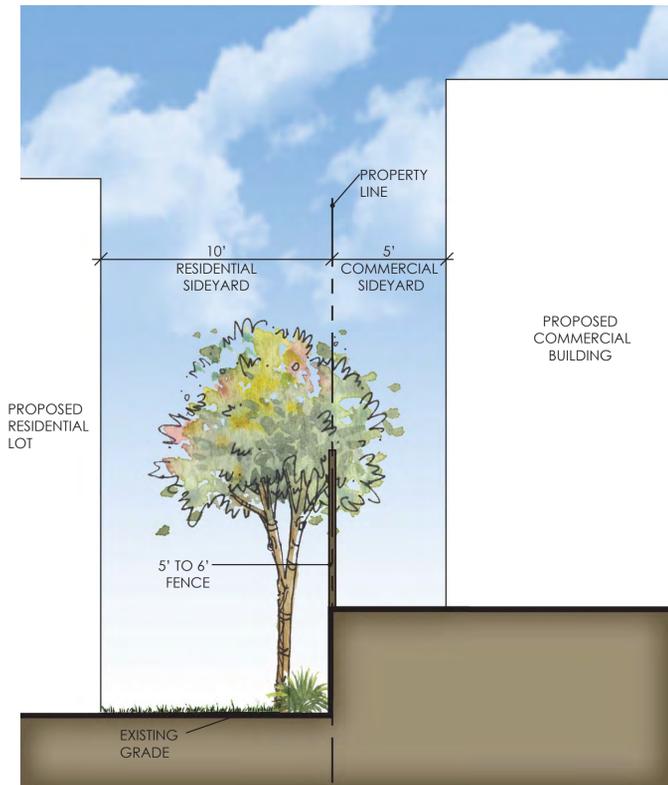
Section 2-Residential West



Section 3-Commercial/Residential



Section 4-Residential South



Section 5-Commercial West/South



Perspective View of Building 2



Grand Avenue Elevation



Perspective View of Building 1



Grand Avenue Elevation



Perspective View of South Courtland Street



SCALE: 1/8"=1'-0" (24x36 sheet)
 SCALE: 1/16"=1'-0" (12x18 sheet)

Courtland & Grand
 Mixed Use Project

COURTLAND PERSEPECTIVE

DATE: December 18, 2015
 #0371-01-RS15

FINAL ARC SUBMITTAL



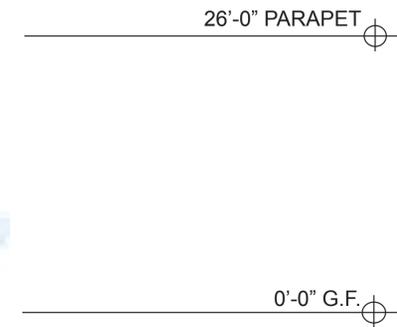
A6



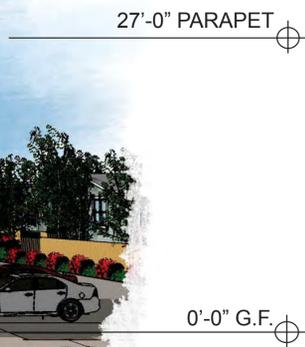
Building 1 East Elevation



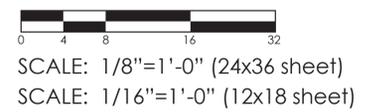
Building 2 East Elevation



Building 1 West Elevation



Building 2 West Elevation





Building 3 East Elevation



Building 3 West Elevation



Building 3 North Elevation

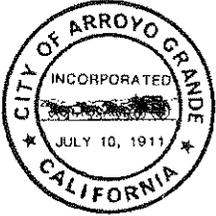


Building 3 South Elevation



SCALE: 1/8"=1'-0" (24x36 sheet)
SCALE: 1/16"=1'-0" (12x18 sheet)





MEMORANDUM

TO: ARCHITECTURAL REVIEW COMMITTEE

FROM: TERESA McCLISH, COMMUNITY DEVELOPMENT DIRECTOR

BY: SAM ANDERSON, PLANNING INTERN

SUBJECT: CONSIDERATION OF ARCHITECTURAL REVIEW 15-011 AND MINOR EXCEPTION 16-001 FOR ONE FOOT (1') REDUCTION OF SIDE YARD SETBACK; NEW TWO STORY RESIDENCE; LOCATION – SHORT STREET; APPLICANT – CINDY NOTT; REPRESENTATIVE – MICHAEL FISHER

DATE: JANUARY 11, 2016

RECOMMENDATION:

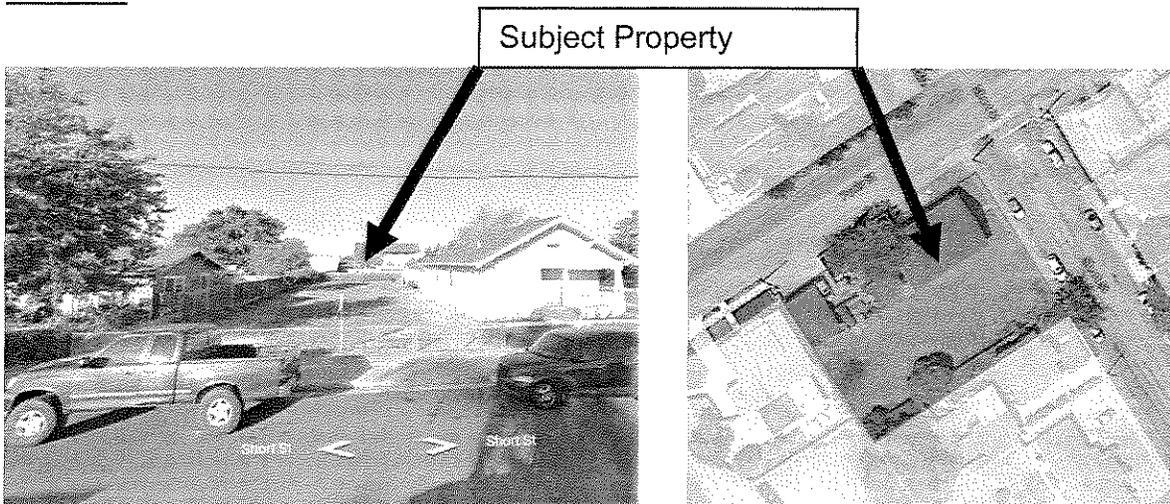
It is recommended that the Architectural Review Committee (ARC) review the proposed project and make a recommendation to the Community Development Director.

IMPACT ON FINANCIAL AND PERSONNEL RESOURCES:

None.

BACKGROUND:

Location



The subject property is zoned Multi Family (MF), is located in the D-2.4 Historic Character Overlay District, and requires review by the Architectural Review Committee (ARC) for compliance with the *Design Guidelines and Standards for the Historic Character Overlay District* (Attachment 1).

**ARCHITECTURAL REVIEW COMMITTEE
CONSIDERATION OF ARCHITECTURAL REVIEW NO. 15-011 AND MINOR
EXCEPTION NO. 16-001
JANUARY 11, 2016
PAGE 2**

Project Description

The applicant is proposing to construct a new three bedroom, two bathroom single family residence with an attached secondary dwelling unit containing one bedroom and one bath. Single family homes are permitted in the MF zone if the lot size is less than 10,000 square feet.

ANALYSIS OF ISSUES

Architectural Character

The project is designed in the Craftsman style, with classic hardboard siding and pitched gables. The east face of the home is dominated by a garage door with a deck placed above. A staircase is visible on the northern side of the home providing access to the secondary dwelling unit located on top of the garage. A Catalina Cherry tree will obscure the view of the staircase to a degree. To the south of the garage is a paved parking space providing the required uncovered parking space for the secondary dwelling unit. The location of the uncovered parking space does not provide convenient access to the stairway to the secondary dwelling unit.

The home is long and narrow due to the physical restrictions of an unusually narrow lot. The applicant is requesting a minor exception in order to reduce the setback on the northern edge of the lot from ten feet (10') to nine feet (9'), a reduction of 10%. The stairway and chimney shown on the northern side of the lot are permitted to enter the setback by up to five feet (5') (50% of the setback) in accordance the Municipal Code in relation to architectural extensions.

Both the southern and northern elevations show varying roof lines and faces in order to break up the long stretches created by the narrow lot. The main entrance to the home is located on the southern side of the home past the paved parking spot. The pathway will be shaded by another Catalina Cherry as well as assorted shrubs and vines shown on the site plans. Liberal uses of windows serve to create a more interesting façade along both sides of the home. There are two second stories on the project – the secondary dwelling unit is located above the garage and in the rear of the home with two more bedrooms and a bathroom. The two second stories are separated in order to provide a degree of privacy to the secondary dwelling unit, as well as create a more visually appealing roofline. The rear second story also has gables facing in all four directions for additional variety.

The applicant has provided a color board for the project which will be available at the meeting. The hardboard siding that makes up the exterior of the home will be a dark blue grey with white trim and detail work done in a lighter gray. The asphalt roofing shingles are a gray with some red color influences.

The proposed dwellings meet all applicable site development standards in regards to FAR, lot coverage, height, and parking. The site will require the minor exception to reduce the side yard setback from ten feet (10') to nine feet (9').

**ARCHITECTURAL REVIEW COMMITTEE
CONSIDERATION OF ARCHITECTURAL REVIEW NO. 15-011 AND MINOR
EXCEPTION NO. 16-001
JANUARY 11, 2016
PAGE 3**

Attachments:

1. *Design Guidelines and Standards for the Historic Character Overlay District* p. 17-18
2. Project plans (available for public review at City Hall)

ARCHITECTURAL STYLES

This section illustrates various architectural styles found within the Village Historic Design Overlay District. These styles represent much of the existing architecture in the Village and shall be used as a guide for future development and renovations in the area. For the Spanish Eclectic Style, use this section as a guide for residential remodels for existing Spanish Eclectic style homes or mixed use/commercial construction (See Appendix "A" for additional examples): construction of new Spanish Eclectic homes is allowed in the HCO residential district subject to conditional use permit approval.

Most of the historic architecture does not follow one specific style, but is influenced by many. The commercial style development in the Village area is an eclectic mix of buildings, but there is a similar vocabulary in the building design and construction materials. The development for the residential and commercial buildings generally fits within one or more of the following architectural styles.

RESIDENTIAL STRUCTURES

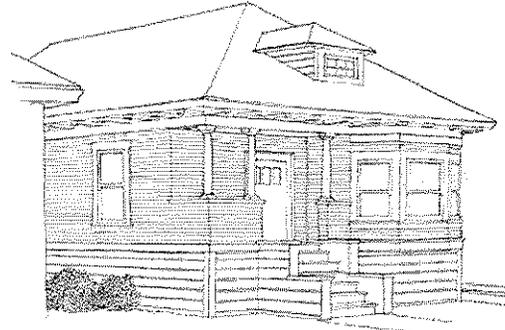
Bungalow



The Bungalow style is a unique house type that borrows from other cultures, but is a truly American design. Developed on the west coast, the Bungalow reduces the distinction between inside and outside space, reflecting the open practical living possible in California. It is generally a low, small house that used natural materials and relied

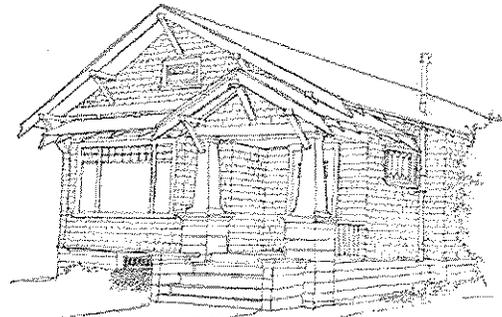
on simplified design. The roof structure is most often broad gables, often with a separate lower gable covering the porch, although hipped roof structures are also common. There is little ornamentation, and what is found is of simplified design. The first Bungalow development period was from 1895 to 1915.

Cottage



A Cottage is basically a small frame single-family home that does not use any particular architectural style or ornamentation pattern. Roof styles vary, but most often use gable, hip or a combination of the two. This is a style that often borrows elements from classic styles, but does not incorporate other elements that make the style unique.

Craftsman



An extension of the early Bungalow, the Craftsman design included a low-pitched gabled roof with a wide, unenclosed eave overhang. Roof rafters are usually exposed and decorative beams or braces are commonly added under gables. Porches are either full or partial-width, with a roof often supported by tapered square columns. The most distinctive features of this style are the junctions where the roof joins the wall,

where the most ornamentation occurs. This was the dominant style for smaller homes from 1905 to early 1920's. The popularity of the style faded quickly, however, and few were built after 1930.

Folk Victorian



The Folk Victorian style uses a simple, folk type house style that is often one story and has a roof that is gabled or hipped (pyramidal). It lacks the intricate, irregular roof structure of the Queen Anne style, but includes ornamentation common to Victorian-style detailing, especially spindle work. Facades are generally symmetrical.

Queen Anne

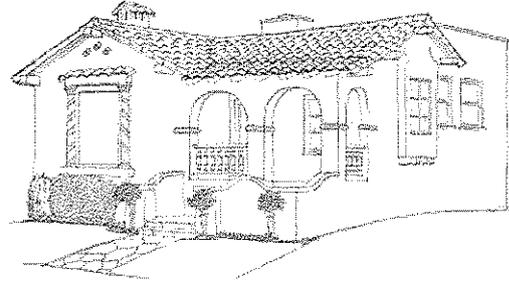


The Queen Anne architectural style was common from about 1880 to 1910. Identifying features include a steeply pitched, irregular shaped roof, often with a

dominant front-facing gable, patterned shingles, cutaway bay windows, and other features to avoid a smooth walled appearance. The decorative detailing is usually of two types:

1. Spindle work includes turned posts and may also include decorative gables and ornamentation under the wall overhangs.
2. Free classic detailing uses classical columns, instead of delicate turned posts, and other ornamentation is less "lacy" and delicate than that found in spindle work. This style became common after 1890.

Spanish Eclectic



For the Spanish Eclectic Style, use this section as a guide for residential remodels for existing Spanish Eclectic style homes or mixed use/commercial construction (See Appendix "A" for additional examples): construction of new Spanish Eclectic homes is allowed in the HCO residential district subject to conditional use permit approval. The Spanish Eclectic style uses decorative details borrowed from all aspects of Spanish Architecture. The roof is low pitched, usually with little or no eave overhang, or flat. The roof covering is S-shaped or 2-piece unglazed clay tile. Typically one or more prominent arches are placed above the door or principal windows. Windows are typically recessed. The wall surface is usually smooth plaster, and the façade is normally asymmetrical.

* Sketches from the Architectural Styles section are from Realty Advocates at www.realtyadvocates.com.



MEMORANDUM

TO: ARCHITECTURAL REVIEW COMMITTEE

FROM: TERESA McCLISH, COMMUNITY DEVELOPMENT DIRECTOR

BY: SAM ANDERSON, PLANNING INTERN

SUBJECT: CONSIDERATION OF ADMINISTRATIVE SIGN PERMIT 15-014; ONE NEW WALL SIGN AND REFACING OF EXISTING POLE SIGN; LOCATION – 139 TRAFFIC WAY; REPRESENTATIVE – TOM DIAZ; SIGN CONTRACTOR – NORTON SIGN AND DESIGN

DATE: JANUARY 11, 2016

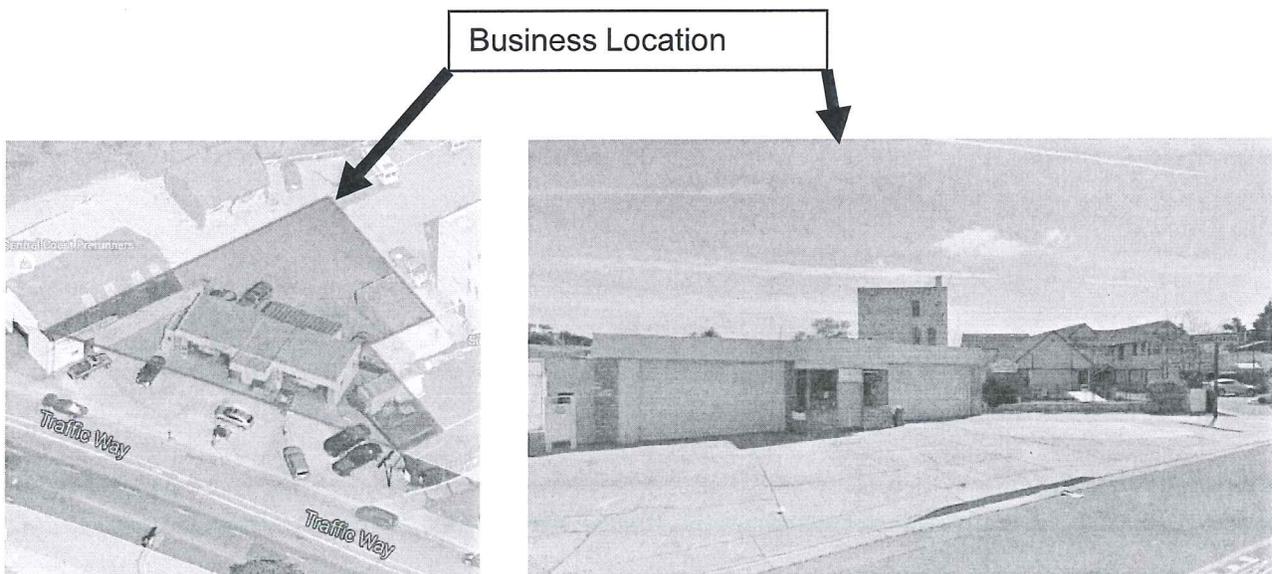
RECOMMENDATION:

It is recommended that the Architectural Review Committee (ARC) review the proposed project and make a recommendation to the Community Development Director.

BACKGROUND:

The subject property is zoned Village Mixed Use, is located in the D-2.4 Historic Overlay District and requires review by the Architectural Review Committee for compliance with the *Design Guidelines and Standards for the Historic Character Overlay Districts*.

Location



**ARCHITECTURAL REVIEW COMMITTEE
CONSIDERATION OF ADMINISTRATIVE SIGN PERMIT 15-014
JANUARY 11, 2016
PAGE 2**

ANALYSIS OF ISSUES:

Project Description

The applicant proposes one (1) new wall sign and resurfacing of one (1) existing pole sign for an auto service center business. The total size of the proposed signage is approximately 58 square feet and the signs are designed as follows:

Wall Sign

Materials: ½" thick MDO plywood and digital printed graphics.
Colors: Blue border and lettering, with black outlines on logo.
Message: *Sunset Service Center*
Size: 10' x 3' approximately 30 square feet.
Location: Above main entrance.

Pole Sign

Materials: Digital graphics mounted on existing pole face.
Colors: Black and blue lettering, with blue outlines and pole color.
Message: *Sunset Service*
Size: 1'6" x 11' approximately 16.5 square feet.
Location: Mounted on existing pole.

The sign proposal meets AGMC requirements for the area, which allows two wall signs. The pole sign, due to it being resurfaced, is considered a change of copy and will be permitted to be used. Based upon the dimension of the business frontage length (66'6" ft.), the proposed total sign size (58 sq. ft.) is within the allowable maximum sign area of 112.25 sq. ft. The signs meet all applicable standards found in the Arroyo Grande Municipal Code.

Architectural Review

The Architectural Review process is intended to implement the General Plan and other adopted policies such as the Design Guidelines. The *Design Guidelines and Standards for Historic Districts* discusses sign and awning attributes on pages 36 through 38. The Design Guidelines do recommend that signs on signboard be framed in order to provide depth and a finished look to the sign. Designing more intricate signage could allow for greater compliance with the Design Guidelines. Additionally, the color palette could be modified to more neutral colors in order to better match with the existing structure and the Village. However, this would need to be balanced with any trademarked logos of the business.

Attachments

1. *Design Guidelines and Standards for the Historic Character Overlay Districts* pages 36-38
2. Sign Plans (available for public review at City Hall)

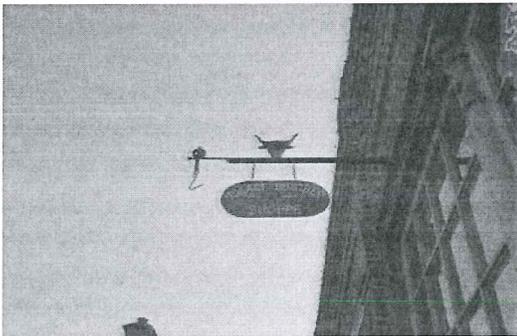
Signs, Awnings and Rear Entries



SIGNS

General

1. Signs shall meet all requirements of the Development Code, and the provisions of these Guidelines and Standards for the district in which it is located. If a conflict arises between the Development Code and these Guidelines and Standards, the most restrictive requirements shall apply.
2. All signs, except Community Development Director approved window signs, shall be subject to review by the Architectural Review Committee (ARC).
3. Signs shall be oriented to pedestrians and slow moving vehicle traffic. This means that signs shall be smaller and on more of a human scale than signs in other commercial districts.



4. Painted wall signs are not appropriate on facades of unpainted brick or stone. Signs painted directly on unpainted or unfinished walls are not appropriate for the Village Core Downtown and Mixed Use districts. Wall signs painted on finished wood and/or painted brick, stone or stucco surfaces are allowed subject to ARC recommendation. Removing or altering painted signs can cause damage to the surface material.



Size

1. Signs shall not completely cover kick plates or window transoms.
2. All signage is included in the sign area allowed in the Development Code. This includes window and awning signs, logos and graphic representations that identify the business, product sold, or service offered.
3. Window signs shall not exceed twenty percent (20%) of the window area in which they appear.
4. Sign materials and lettering styles shall be consistent with the historic period.

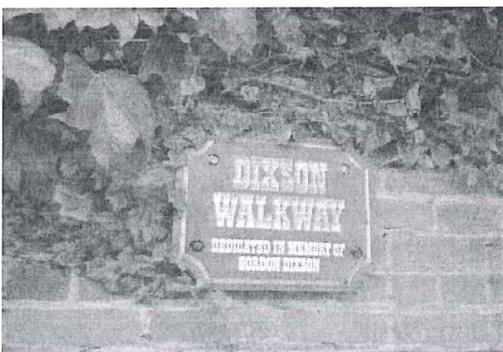
Location

1. Signs shall be located in relation to the bays on the façade. Signs shall not

obscure architectural features of the building.



2. Wall signs shall be located near the entry to the building to better relate to pedestrian traffic.
3. Window and door signs shall be applied where they will not obstruct visibility.
4. Signs on awnings or canopies shall be placed where pedestrians can see them. Under-canopy signs are encouraged in the Village Core Downtown District to enhance pedestrian orientation, and shall be counted as part of the total allowable sign area.



Materials

1. Signs shall be built of wood, metal or other materials that simulate the appearance of wood or metal.
2. The use of wood-simulating recycled plastic material is subject to Architectural Review Committee (ARC) approval.
3. High gloss, shiny or reflective surfaces may be used as accents, but shall not be used as the predominant sign material.
4. Signs may use raised images or painted images in their design.
5. Sign materials shall complement the building material, and shall be in keeping with the historic character of the Village.
6. Signs painted on a signboard or other thin material shall be framed on all sides to provide depth and a finished look to the sign. Sign frames shall include carved or routed details or otherwise be designed to complement the architectural design of the building or district.
7. Interior lit and metal canister, plastic and vacuum-formed letters or sign faces are not permitted unless specifically recommended by the Architectural Review Committee (ARC).

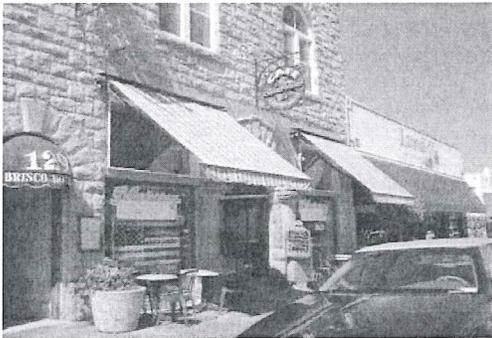
Colors

1. Sign colors shall complement the building color scheme.
2. Bright, intense colors are inappropriate including the use of fluorescent, "neon" or "day-glo" colors on signs.
3. All applications for sign permits shall include a sample of the intended color palette.

Sign Illumination

1. Signs may be externally illuminated with incandescent lights, or other lighting that does not produce glare and is designed to conserve energy.
2. Wall, canopy, or projecting signs may be illuminated from concealed sources or exposed ornamental fixtures that complement the building's architecture.
3. Window signs and window displays may be illuminated from concealed sources.
4. Neon tubing signs that approximate the appearance of historic neon are subject to approval of the Architectural Review Committee. All neon tubing shall be covered with transparent or translucent material to prevent rupture or shall be certified by the manufacturer for safety.

AWNINGS AND CANOPIES



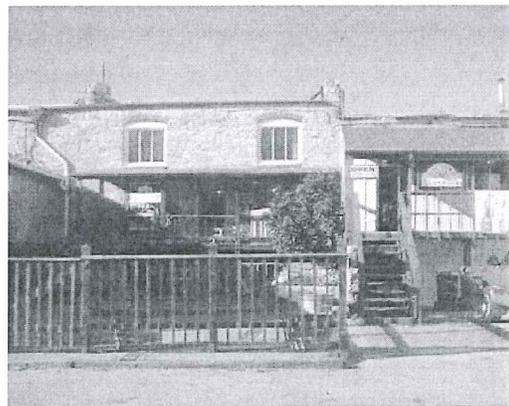
1. Under-awning or under-canopy signs oriented to pedestrian traffic are encouraged as part of the overall signage in the Village Core Downtown and Mixed Use districts.
2. All graphics, logos, and signs contained on awnings or canopies shall be considered part of the total allowed sign area as defined in the Development Code.

3. Awning or canopy color and design should be compatible with that of the building on which it is attached and complement those of adjacent buildings, both in style and color.

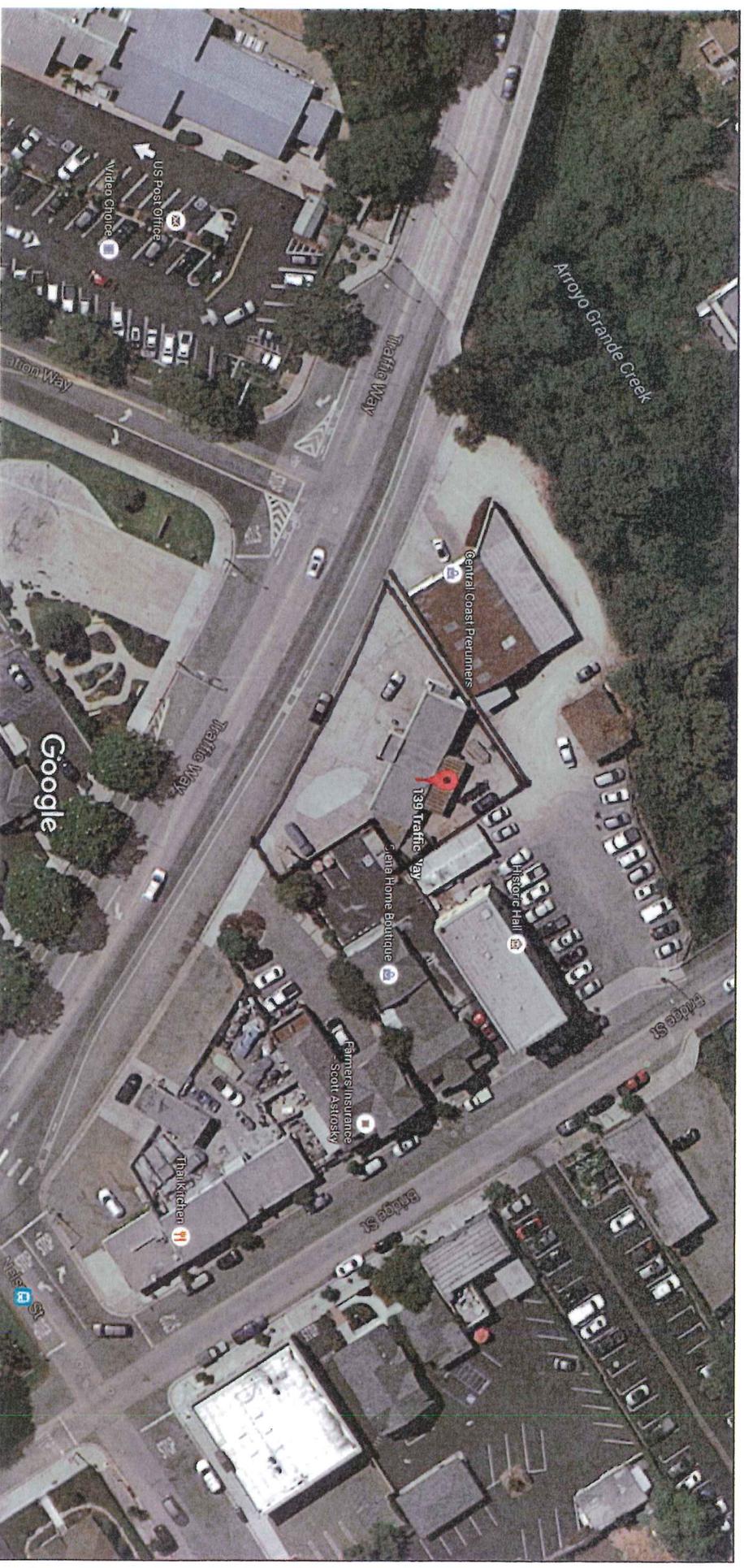


4. Canopies and awnings shall be consistent with the historic period in regard to size, shape, and materials. Aluminum, fiberglass and plastic awnings or canopies are not appropriate. The use of loose valances and traditional vintage-stripped awning material is encouraged. Canopies and awnings consisting of materials stretched taut over a rigid framework are not appropriate.

REAR ENTRIES



1. Rear entries are traditionally plain and unadorned. Common materials include brick, stone, boards and battens and wood siding, and these are acceptable for new construction or renovation.



Imagery ©2015 Google, Map data ©2015 Google 50 ft

Sunset Service Center

139 Traffic Way
Arroyo Grande, CA 93420



Image capture: May 2015 © 2015 Google

Arroyo Grande, California

Street View - May 2015

hmont Dr



66'6" BUILDING WIDTH

3'x10' SOLID PANEL UNDERLIT
SIGN ON CENTER UNDER
FACE

1'x3' STENCILED NAME & ADDRESS
ON WINDOW ABOVE DOOR

Google

Google Maps 210 Traffic Way

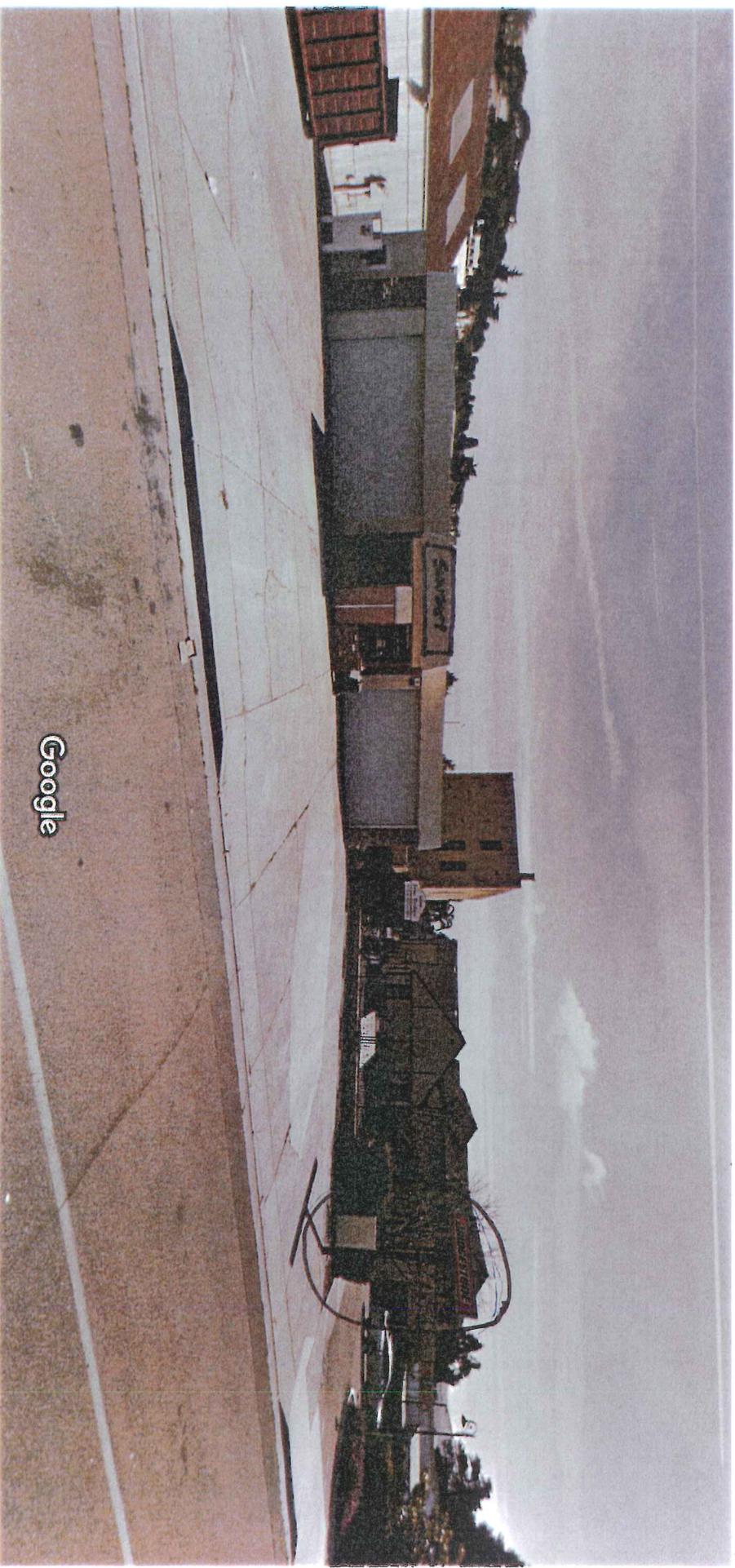


Image capture: May 2015 © 2015 Google

Arroyo Grande, California
Street View - May 2015

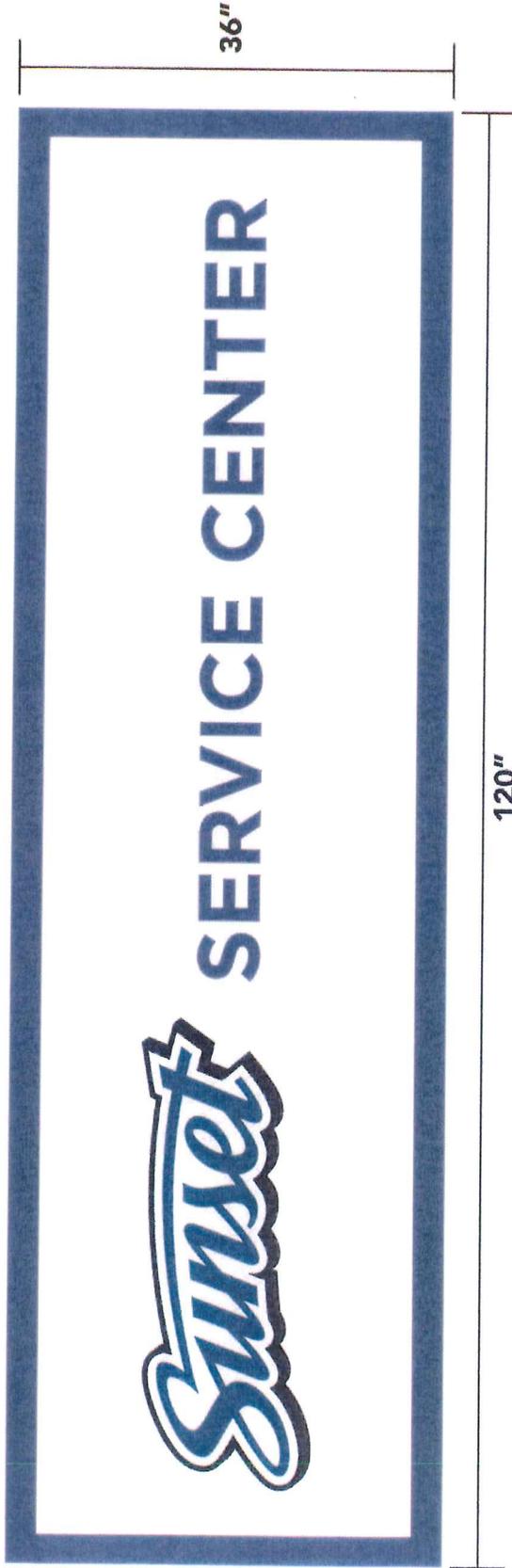


3' x 10' SOLID PAVEMENT
FIXED SIGN UNDERPIT
ON CURB/EDGE UPPER FACIA

POLE SIGN TO BE RE-FACED

Digital Print to 1/2" MDO • 36" x 120" • Sunset Service Center

A Digital Print • Front View
For Production



3001 Byroad Street • San Luis Obispo, CA 93401
805.548.0413 • www.nortonsignsanddesign.com

Client Name:
Tom Diaz
Phone: (805)540-6632
Email: tdiaz@sunsethonda.com

Start Date: 11/12/15
Last Revision: 12/3/15
Job#: 3624
Description: DP to MDO
Page: 1 of 2

Client Review:
NORTON SIGN & DESIGN & SIGN REQUIRES AN "APPROVED" PROOF PRIOR TO PRODUCTION. ALL DESIGN & SIGN REVISIONS MUST BE APPROVED BY NORTON SIGN & DESIGN. APPROVING PROOF CLIENT IS RESPONSIBLE FOR ANY CORRECTION TO POST-PRODUCTION WORK.
 Approved As Is Approved As Noted Revise & Resubmit

Signature: _____ Date: _____

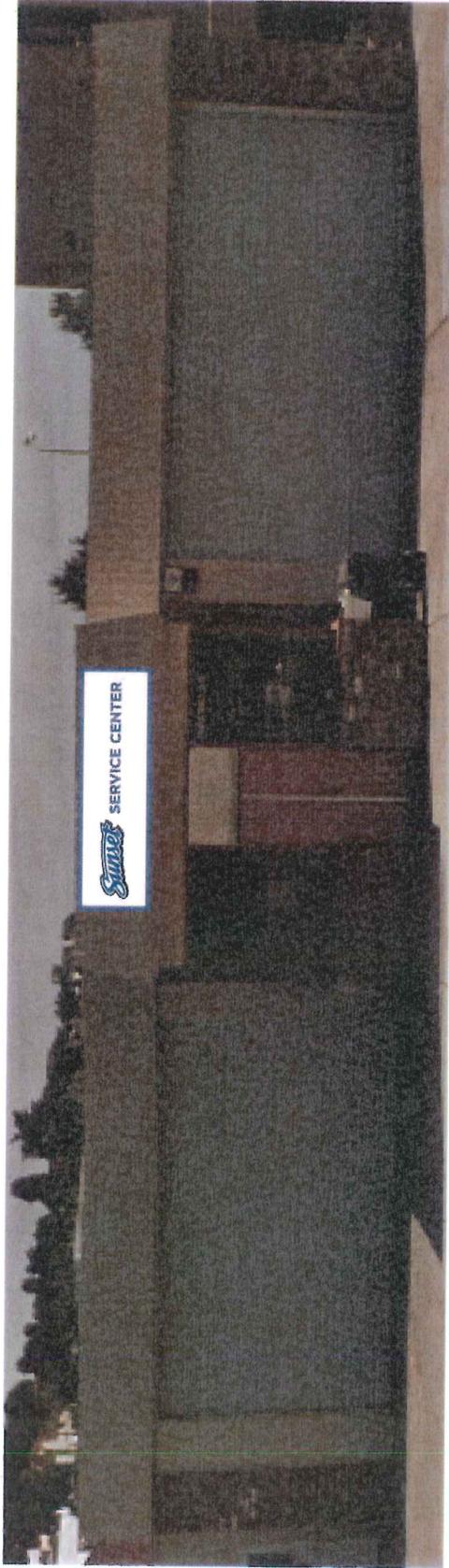
Sales Rep:
Veronica
Designer:
Veronica



© COPYRIGHT 2015, BY NORTON SIGN & DESIGN. ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF NORTON SIGN & DESIGN, AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM NORTON SIGN & DESIGN.

Digital Print to 1/2" MDO • 36" x 120" • Sunset Service Center

A Digital Print • Front View Rendering - 139 Traffic Way, Arroyo Grande
For Production

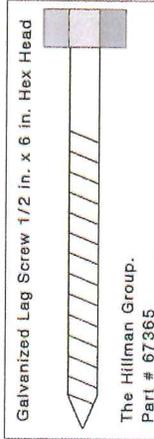


1/2" Painted MDO

Digital Print Graphics



Drilled through sheet metal face
into into wood framework



 <p>NORTON SIGNS + D E S I G N</p> <p>3001 Broad Street • San Luis Obispo, CA 93401 805.548.0413 • www.nortonsignsanddesign.com</p>	<p>Client Name: Tom Diaz Phone: (805)540-6632 Email: tdiaz@sunsethonda.com</p>	<p>Start Date: 11/12/15 Last Revision: 12/3/15 Job#: 3624 Description: DP to MDO Page: 1 of 2</p>	<p>Client Review: NORTON DESIGN & SIGN REQUIRES AN "APPROVED" PROOF PRIOR TO PRODUCTION. PLEASE CAREFULLY REVIEW ALL ARTWORK AFTER APPROVAL. THE CLIENT IS RESPONSIBLE FOR ANY CORRECTION TO POST-PRODUCTION WORK. <input type="radio"/> Approved As Is <input type="radio"/> Approved As Noted <input type="radio"/> Revise & Resubmit</p>	<p>Sales Rep: Veronica Designer: Veronica</p>
	<p>Signature: _____ Date: _____</p>		<p><input type="checkbox"/> LISTED</p>	<p>© COPYRIGHT 2015. BY NORTON SIGN & DESIGN. *ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF NORTON SIGN & DESIGN, AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM NORTON SIGN & DESIGN.</p>

Sunset SERVICE

